



SAVANNAH LAKES VILLAGE & GOLF CLUBS

ARCHITECTURAL EXPECTATIONS

A Pictorial Guide to Home Design and Architectural Rules & Regulations



A couple enjoying a sunset cruise along the calm waters of Lake Thurmond

Welcome to Savannah Lakes Village!

Our 4,000-acre community is beautifully situated among unspoiled enchanting forests and features 25 miles of shoreline along the 70,000-acre Lake Thurmond. Savannah Lakes Village is a pleasant destination and an easy drive from the urban centers of Augusta, Greenville, Charlotte, Columbia, Charleston, and Atlanta. Upon arriving at the Georgia/South Carolina border on Highway 378, you are immediately swept away by the contrasting beauty of the undisturbed forestland and the calm waterways of South Carolina's freshwater coast. The location of the community provides easy access to the majestic lake, three neighboring state parks, and thousands of acres of national forest land.

In addition to a sports and fitness center, excellent dining services at the clubs, and an on site resort, Savannah Lakes is home to some of the best private golf courses that the region has to offer. These award-winning golf courses, carved from the rolling landscape

wrapping Lake Thurmond, offer unique challenges and breathtaking vistas. The golf clubs at Savannah Lakes Village are known as some of the most scenic, challenging, and inspiring golf holes in the state.

However, we're sure that you will quickly discover our best asset to be something a little less tangible... such as the friendly, caring neighbors. Your award-winning village is a vibrant community where people interact and residents become more than just neighbors. The first-class amenities bring neighbors together and build the true sense of community. New friends from across the nation quickly embrace the area's contagious southern hospitality and charm. We look forward to welcoming you into the ranks of over 1,800 residents who have declared Savannah Lakes Village as home.

SAVANNAH LAKES VILLAGE & GOLF CLUBS

800.332.0013 | 864.391.4116

www.savannahlakesvillage.net





Architectural Expectations

This Pattern Book is designed to provide prospective homeowners with an overview of architectural styles and design elements being successfully utilized in existing homes throughout Savannah Lakes Village. While the architecture within the community is ever evolving, the guidelines and examples contained within this publication are designed to illustrate basic architectural design expectations, providing you with ideas for designing your own unique home.

Savannah Lakes Village looks forward to welcoming you and your family into your new home within our award-winning community.

**Note: Pictures of architectural styles and design elements contained in this manual include established homes located within Savannah Lakes Village and the surrounding area. Additional rules and regulations apply. See the Savannah Lakes Village Architectural Rules and Regulations manual for details and official ACC applications and permits.*

*For further assistance, call the
SLV Community Services Office at 864.391.4126.*

Contents

History of the Savannah Lakes Area 4

Architectural Patterns

Architecture in Savannah Lakes 5

Imagery

Cottage Style 6

French Country Style 7

Southern Traditional Style 8

European Style 9

Architectural Guidelines

Introduction 10

Doors 11

Windows and Shutters 12

Dormers 13

Roofing and Gutters 14

Foundations and Chimneys 15

Exterior Materials 16

Porches, Columns, and Rails 17

Garages 18

Landscape Guidelines

Introduction 19

Designing with Natural Elements 20

Driveways 21

Walls and Fencing 22

Architectural Rules & Regulations 23-45



Monticello's Fifth Fairway and Green



Brief history of the Land

The saga of McCormick County renders an interesting and colorful history that began with South Carolina's first known Native Americans. The Paleo Indians inhabited this region that composes McCormick County some 11,000 years ago. These explorers trekked southward seeking warmer climates and richer hunting territory.

By 1740, trade between the Cherokee Indians and whites was flourishing. European manufacturers were clamoring for animal hides and furs at premium prices. White hunters and traders departing from Charles Town (Charleston today) traversed the back country of South Carolina creating new trails to the Cherokee Nation. These men became an agent of acculturation and land-use change in the Back Country during the early eighteenth century. The unplanned acculturation set the stage for slow, in the beginning, and ultimately rapid settlement of the upstate of South Carolina, including the land area that now comprises McCormick County.

After General Edward Braddock's defeat in 1755 during the French and Indian War, the frontiers of Virginia, Maryland, and Pennsylvania were exposed to great danger from the French at Fort Duquesne on the Ohio River, and their Indian allies. Bands of warring Indians ravaged the frontiers populated mostly by Scots-Irish. Settlers evacuated the countryside.

To escape the atrocities, five Scots-Irish families made their way down the Great Wagon Road from Virginia to South Carolina. Perhaps the most remembered of these families were the Calhouns. The Calhouns arrived in the Long Canes (present-day McCormick County) in February 1756. They found an unspoiled, enchanting wilderness paradise. The

virgin soil was rich and porous and along the streams it was fertile sandy loam. The countryside was forested with short leaf pines, oaks, cedars, persimmons, cherries, walnuts, cottonwoods, birches, hickories, maples. Chestnuts, oaks, and poplars along the streams often grew to exceed 70 feet or more in height.

The land was a Native American hunter's bonanza. Buffalo, deer, and black bear abounded. The shaggy buffalo would later lend its name to locales like Buffalo Creek.



The cross at old Huguenot worship site marks the location of the French Protestant Congregation of New Bordeaux, which was organized here in 1764. The site is located on Worship Site Rd. and borders the northern part of Savannah Lakes Village.

February 1, 1760 was a cold winter day in the Calhoun settlement at Long Canes. During the morning, the settlers received the alarm of an impending attack planned by Indian warriors of the Cherokee Nation. Risking her life, Cateechee, an Indian maiden, rode some 70 miles on horseback to warn the settlers. The settlers of Long Canes hastily began preparations to flee some 60 miles south to Tobler's Fort at Beech Island, just across the Savannah River from

Augusta, GA. After having traveled only a few miles to Long Cane Creek where they prepared to camp, the Indians attacked. Casualties among the settlers mounted very quickly. Realizing the futility of further resistance, the surviving settlers, aided then by night, assembled as best they could and fled on horses and reached the safety of Tobler's Fort. In the short half-hour, the Long Canes settlers suffered 56 killed and a number taken captive. The Cherokee raiding party sustained 21 killed and a number wounded.

With indomitable courage, the settlers returned to the Long Canes during the fall of 1760. Following the Cherokee War, peace with the Cherokees brought a flood of emigrants in the Back Country. A steady stream of settlers traveled down the Great Wagon Road from Pennsylvania, Virginia, and North Carolina. Other settlers came by ship into Charles Town. The region that would one day become McCormick County received its fair share of expansion as these hardy pioneers claimed bounty lands all over the county along Cuffeytown Creek, Hard Labor Creek, Little River, Long Cane Creek, Savannah River, and Turkey Creek.

In 1764, a group of French Huguenots, led by the Rev. Jean Louis Gilbert, established the colony of New Bordeaux on Little River. The site is located adjacent to the Savannah Point and Monticello neighborhoods of Savannah Lakes Village.

During the years, McCormick County has been a part of Granville County, Ninety-Six District, and Abbeville, Edgefield, and Greenwood counties. After 21 years of petitions, surveys, elections, and court battles, McCormick County was established April 12, 1916.

Savannah Lakes Architectural Styles



Cottage Style



French Country Style



Southern Traditional Style



European Style

The approach to architecture at Savannah Lakes Village begins with a strong vision focused on beauty and preserving the land, along with key building rules. Each home is then individually constructed by one of many independent builders. The result is that the quality of construction is predictable, but the architecture is diverse and ever evolving. Each home is unique, while aesthetically blending into the design of the community and surrounding natural amenities.

A component of the Savannah Lakes Architectural Control Committee is to encourage quality

development that is aesthetically pleasing and enhances the architectural quality of existing neighborhoods. This pattern book identifies the four key styles (listed above) guiding the architectural design of the majority of homes in the Village. These styles and variations on these styles can be found on every street and blend together to form a wonderful array of housing styles that are compatible with the theme of the community. These architectural guidelines promote the natural beauty of the land and the recreational opportunities along the pristine and majestic Lake Thurmond.



Imagery of the Cottage Style



A cottage is typically a smaller design that often reminds us of picturesque storybook charm. Many of today's cottage designs were inspired by 19th Century summer cottages along the East Coast. Their design is suitable as either a comfortable year-round residence or a special vacation retreat.

Architectural details typically include large front and back porches for outdoor entertaining. Other main features include the use of dormer windows

and doric columns, square tapered columns on piers of brick or stacked stone, or square chamfered columns. Sometimes, cottage homes are referred to as bungalows. Bungalows have limited dormers and generally smaller porches, but incorporate design elements from the Arts and Crafts style of the early to mid 1800's.

The typically narrow and long footprint of the cottage style is well suited for narrow interior lots within Savannah Lakes Village.



Imagery of the French Country Style



The French Country style, at its roots, exudes rustic warmth and features comfortable designs. Decorative shutters, quoins, and arches with accenting keystones above the windows and doors are all features commonly found in French Country homes. Other defining design elements include curved arches, soft lines, stonework, bay windows with copper eaves, and a symmetrical facade of brick or stucco. Inside, you'll find wood beams, plaster walls and stone floors as common thematic features. A high-pitched hip roof

unifies the exterior features and is usually the most dominant characteristic of French house plans.

The French influence in the residential architecture of the United States began in the late 19th Century. Home designs with Mansard roofs were popular early, and later came the French Eclectic style with very steep hip roofs. This is the main consistent feature of the now popular French Country style as usually interpreted in the United States.



Imagery of the Southern Traditional Style



The Southern Traditional style embodies the tradition of elegance and rustic nature of the American South. This style typically features large covered porches, perfect for enjoying the warm southern climates. Southern Traditional style homes are similar to country homes and low country homes, and share many architectural similarities with them. These types of homes are typically sprawling and airy with tall ceilings, and especially large front porches. Pitched or gabled roofs are usually medium or shallow in height, often with dormers.

The Southern Traditional style provides a relaxing, rural lifestyle, regardless of where you plan to build your home. The spacious porches extend your living space, making the homes seem larger, and creating a seamless transition between indoors and out. You can look forward to barbeques out back, lazy afternoons on a porch swing, large gathering rooms, and gorgeous country kitchens.



Imagery of the European Style



The European style features steep roofs, subtly flared curves at the eaves, and are faced with stucco, brick, and stone. Typically, the roof line comes down to the windows. Defining interior characteristics include vaulted ceilings, unique staircases that are open to areas beneath, built in plant shelves, and a second floor that is often contained within the attic.

European architecture inspires a touch of elegance, distinguished style, and large floor plans with one

to one and a half stories. These homes present an elegant look with rich ornamental detailing. European style homes generally work best on larger lots within the community, where their grand facades can be best appreciated.

There are many subsets of the European style. These historical styles offer today's homeowner a touch of elegance, refined style, and large proportions for comfortable living and entertaining.



Architectural Guidelines



Kayaking on Lake Thurmond in Savannah Lakes Village

The following section of this book provides important architectural guidelines to be followed when designing your Savannah Lakes Village home. The images provided are simply a glimpse into acceptable architectural elements already being successfully utilized within the community. These images, along with the

written guidelines, provide basic examples of the range of exceptional details that may be utilized by property owners, architects, and builders. In the end, the goal is for you and your family to have a wonderful home that blends beautifully with the natural beauty of our community.



Door Guidelines



The main entry door is one of the most important architectural details, and makes an immediate impression upon the overall design and curb appeal of your home. The main entrance should be simple and elegant while remaining accurate to the architectural theme. It is also important to properly scale transoms and sidelights. High quality materials such as heart pine, oak, mahogany, and other solid woods are encouraged, which may be stained or

painted in a coordinating color. Simulated wood doors made of fiberglass or steel with traditional stile and rail proportions and panel profiles may also be used.

Rear doors may be a solid raised panel or french doors. High quality metal doors may also be used on the back of the home if they are not visible from the street or golf course.



Window and Shutter Guidelines



Windows

Along with the front entrance, windows play an important role in the overall design of the home. Most importantly, they should be in keeping with the style of the home. They may be painted wood, solid cellular PVC, or clad wood or vinyl. Special attention should also be given to casing and window sills.

Shutters

Louvered, raised panel, plank, or board shutters may be utilized depending on the style of the home. In proportion, shutters should cover the entire window or door when closed, but may not be possible in all instances. High quality synthetic shutters may be used if adhering to all other specifications. It is encouraged to mount shutters with hardware to appear operable.



Dormer Guidelines



Dormers are structural elements that protrude from the plane of the sloping roof surface. Dormers provide a source of light and ventilation for top floors, and by increasing the amount of headroom, they allow for more usable space within the room.

Dormers are also used to accentuate the architecture and aesthetic appeal of many homes within Savannah

Lakes Village. Like other architectural elements, it's important to remain focused within the defined style of the home. Therefore, great care should be used in the design of dormers relative to scale, proportion, and spacing. Great detail should be placed on proportionally sized trim and window surrounds relative to the windows and roof pitches. Above are a few examples of gable and shed dormers utilized within the community.



Roofing and Gutter Guidelines



3-Dimensional Asphalt Shingles



Ogee Profile Gutter



Slate Composite Roof



Half-Round Copper Gutter



Copper Eave with Weathered Patina



Simulative Slate Roof

Roofing

Homes within Savannah Lakes utilize a variety of roofing materials to include architectural grade asphalt shingles, slate (including manufactured slate products), flat clay tile, and cedar shakes. Roof colors should be an integral part of the exterior color scheme for the home. All roof stacks, flashing, and metal chimney caps must be painted to match the approved roof colors. Roof stacks and plumbing vents should be placed on rear slopes when possible. The use of low profile ridge vents are encouraged when topped with the approved roofing material.

Gutters

Gutters are encouraged to properly channel water and moisture away from your home and to minimize erosion within the landscape. Gutters can be half round gutters or ogee profile (crown) gutters, with round or rectangular downspouts. Gutters may be constructed from copper, aluminum, or galvanized paint. Gutters should be planned to match the overall color scheme of the home and blend in as much as possible. Downspouts should match gutter colors.



Foundation and Chimney Guidelines



Stacked Stone Chimney



Brick Foundation



Stacked Stone Foundation



Stacked Stone Chimney



Brick Chimney



Stone and Concrete Foundation

Chimneys

Chimneys certainly provide a functional system for venting smoke from a fireplace, but they also serve as a key architectural element for the exterior and interior of a home. Brick and stone chimneys are encouraged, but stucco with a smooth sand finish may also be used as an exterior material. Chimney materials should match the foundation of the home.

Foundations

Foundations shoulder a home's considerable weight, provide a level base for construction, and separate wood-based materials from contact with the ground. The foundation may be made of stone, brick, concrete block or poured concrete. However, stone, brick, or stucco should be used as a finish material for the exterior of the foundation and piers to porches. All foundations (slab or crawl space) should be a minimum of 30" above grade from the front elevation.



Exterior Material Guidelines



Stone



Vertical Board and Batten



Brick with Hardie Plank & Copper Accent Eave



Stacked Stone with Stucco



Stacked Stone with Shingle Accents



Brick



Shingle Accent Gable



Stucco

The architectural details and style that makes your home unique should be accentuated with the proper exterior and siding materials. Your choice of exterior materials should be based on the historical trends of your selected architectural style. Stone, brick, split rock, stucco, lap or clap style wood siding, fiber cement lap siding, tongue and groove, wood shingles and shakes, and hardie plank (or equivalent) are all encouraged. Siding material should be 6" to 8" wide and corner boards should be a minimum of 4" x 1½". Accenting features of your home with brick, stone, and wood shingles is desirable.

All exterior colors must be approved by the Architectural Control Committee. The review board may restrict colors that, in their opinion, would not be harmonious to Savannah Lakes Village. Bright or vivid colors (other than white) as the dominant color are not encouraged.



Porch, Column, and Rail Guidelines



Round Doric Columns



Open-Air Porch



Round Doric Columns



Square Balusters



Open-Air Porch



Square Doric Columns



Double Square Doric Columns



Square Doric Columns with Wrought Iron Rails



Round Doric Columns with Arches

The porch has withstood the test of time as an icon of American architecture, adding comfort, distinction and value. Today's home designs incorporate the porch as a natural extension of the family's living space and is one of the most important features of any southern home. Open-air porches are strongly encouraged, but screened or glass enclosed porches are allowed on the rear of the home. Open-air porches with outdoor ceiling fans can provide a comfortable retreat without the maintenance hassles of a screen enclosed porch.

Porch columns should be carefully matched to the style of the home. Round or square doric columns, square tapered columns on piers, and chamfered columns are appropriate for most styles within the community. Ornate columns such as Ionic or Corinthian are generally inconsistent with the community's main architectural styles.

Porch and deck rails should be simple in design and not detract from the main elements of the home. Wood, composite, or wrought iron rails and balusters are the preferred materials.



Garage Guidelines



Garages are an extension of your home, and should be treated as such during the design stage. All exterior materials should be the same as the main house and garage doors should be in keeping with the style of the home. Having a separate door for each bay is highly desirable.

All single family homes should have a minimum two-car garage. Courtyard, side, and rear entry garages are encouraged, while most front loading

garages are strongly discouraged unless impossible due to the layout of the home site. Residents are also encouraged to keep their garage doors closed. Carports will not be permitted in lieu of garages.

The Architectural Control Committee will critique garages for aesthetic and geographic relationships to the project's main structure and home site conditions.



Landscape Guidelines



Natural Rock Formation in Savannah Point Neighborhood

Savannah Lakes Village and the surrounding area remains an unspoiled, enchanting paradise. If you stop for a moment and take in the sights and sounds, you can imagine how the first settlers felt when they discovered the area 250 years ago.

Savannah Lakes Village was created with careful consideration of the landscape and the native animal species of this region. The protected lands around Lake Thurmond offer a wide variety of habitats for numerous species of mammals, birds, and reptiles including rare, threatened, and endangered species.

Sightings of southern bald eagles, migratory waterfowl, and neotropical birds are commonplace.

Savannah Lakes Village strives to maintain a healthy balance between these natural settings and continual improvements. The natural elements that make each home site unique should guide the site development, architectural style, and the enhancements to the natural landscape. The following guidelines will help you plan for your new home, while protecting the natural landscape elements that are unique to Savannah Lakes Village.



Landscape Design with Natural Elements



Rocks, boulders, and rock formations are especially common within the natural landscape of Savannah Lakes Village and their use is strongly encouraged within your landscape design. Home sites without natural rocks elements may opt to add rocks and boulders to the design of their landscape. Stacked stone is also an excellent choice for borders and other design elements for the landscape surrounding your home.

Special care should also be given to native species of trees and plants. Oaks, maples, dogwoods, hollies, and azaleas are found throughout the community in their native habitat, and are highly desirable for use within the landscape. Preserving the natural landscape of your home site helps to protect the beautiful environment that Savannah Lakes Village has to offer.



Driveway Guidelines



Driveways create the first impression for your home and therefore should be designed purposely to remain in unison with the defined architectural style and exterior materials of your home.

Driveways should be a minimum of 12' wide and constructed of hot mix asphaltic concrete, portland cement concrete, brick, stone, or other durable aesthetic material to provide an attractive dust free, all-weather surface. The driveway should also

provide external parking for a minimum of two vehicles, served by an adequate driveway and space for the movement of vehicles.

Brick and stone accents creating an attractive apron between the street and concrete driveway is highly desirable and substantially adds to the curb appeal of your entrance. Brick and stone pilasters to match your home creates an interesting architectural element, and generates a welcoming feeling for visiting neighbors, friends, and family.



Walls and Fencing Guidelines



Stacked Stone Accent Wall



Low-Profile Metal Fencing



Stone Retaining Wall

Walls

Landscape walls that are an integral part of the residential design may be permitted. Such walls may be used for structural purposes, aesthetic purposes, as planters, as seat walls, or to organize and define an area. Walls are subject to height restrictions and should be constructed of brick or stacked stone, concrete, or stucco.

Fencing

Fences should generally be avoided as they can often block views along the lake or golf courses and can be obtrusive. Fencing will not be allowed in the front of the house, but may be acceptable in the back and side yards if it complements the architecture and is simple and inviting. Fences should be constructed of masonry, wrought iron, wood board on board, and other low profile metal designs.



April 14, 2016

TABLE OF CONTENTS

INTRODUCTION.....	25
Fee Schedule.....	26
The Approval Process.....	27
 I. APPROVAL AND APPEAL PROCESS	
A. ACC Applications.....	27
B. Appeal Process.....	28
 II. GENERAL CONSTRUCTION GUIDELINES	
A. Required Licenses.....	28
B. Structure Plans.....	29
C. Schedule for Completion of Construction.....	30
D. Construction Activity Information.....	31
E. Lot Clearing.....	31
E.1 Tree Removal.....	32
E.2 Lot Underbrushing Permit.....	33
F. Burning.....	33
G. Construction Entrance.....	34
H. Erosion and Sediment Control.....	34
I. Utility Companies.....	34
J. Shoreline Underbrushing Permits (COE).....	34
 III. AESTHETIC DESIGN	
A. Exterior Design.....	35
B. Exterior Materials.....	36
C. Decks and Porches.....	37
D. Garages.....	37
E. Roofs.....	37
F. Solar Panels.....	38
G. Setbacks and Easements.....	38
H. Soil Conservation, Drainage and Right-of-way.....	39
I. Flood Plain.....	40
 IV. LANDSCAPING	40
 V. FENCES AND WALLS.....	41
 VI. HOUSE EXTERIOR MECHANICAL/ELECTRICAL COMP.....	42

VII.	PARKING STANDARDS AND DRIVEWAYS	
A.	Parking Standards.....	42
B.	Driveway Standards.....	43
VIII.	CENTRAL SEWER SYSTEM.....	44
IX.	SWIMMING POOLS.....	45
X.	SIGNAGE.....	45
XI.	MISCELLANEOUS REQUIREMENTS.....	46
A.	Mailboxes.....	46
B.	Trash Containers.....	46
C.	Propane Tanks.....	47
D.	House Numbers.....	47
E.	Clotheslines.....	47
F.	External Antennas/TV Satellite Dishes.....	47
G.	Home Business Permits.....	48
H.	Yard/Garage Sales.....	48
I.	Boat Dock Lease Application.....	48
J.	Animal Care & Control.....	48
XII.	FINE STRUCTURE FOR VIOLATION OF ACC RULES AND REGULATIONS.....	52

FORMS

Checklist for Construction Application.....	Appendix A-1
Instructions to Surveyors.....	Appendix A-2
General Information Questionnaire.....	Appendix B
Construction Application.....	Appendix C
Suggested Design Considerations.....	Appendix D
Suggested Firewise Construction Checklist.....	Appendix D-1
Specifications List.....	Appendix E
Proof of General Liability/Workman's Comp/Builder's Risk Insurance.....	Appendix F
Change/Addition or Extension to Home Under Construction.....	Appendix G
Driveway Inspection.....	Appendix H
Request for Final Inspection.....	Appendix I
Change/Addition to Existing Home	Appendix J
Landscaping Intent.....	Appendix K
Suggested Firewise Landscaping Checklist.....	Appendix K-1
Mailbox Request.....	Appendix L
Underbrushing Permit.....	Appendix M
Tree Removal Permit.....	Appendix M-1
Application for Home Business.....	Appendix N
Satellite Dish Application.....	Appendix O
Propane Tank Application.....	Appendix P

In Ground Irrigation Systems.....	Appendix Q
Agreement & Understanding.....	Appendix R

INTRODUCTION

Rules and regulations are published by the Architectural Control Committee (ACC) of the Savannah Lakes Village Property Owners Association (SLVPOA), to orient property owners and general contractors to the established “standards”, requirements and specifications for new construction or any modification to existing single-family dwellings within Savannah Lakes Village.

These rules and regulations may change from time to time. Please check with Community Services for a current issue. These regulations are adopted pursuant to the authority provided by the **Declaration, Covenants and Restrictions** of Savannah Lakes Village, McCormick, S.C. Wherever these rules and regulations exceed in scope, those established by the State of South Carolina, the stricter rules and regulations will apply.

The ACC is charged with the important function of determining and regulating the aesthetics for Savannah Lakes Village by determining what building styles, materials, and modifications are acceptable. The overall goal is the preservation of the appearance and natural character of the community and the protection of property values. Therefore, the ACC is empowered under the governing documents to deny approval based on aesthetic reasons. Non-resident lot owners have equal rights with resident homeowners. If something adversely affects property values, an absentee property owner will receive the same consideration as resident homeowners.

The Committee and/or Savannah Lakes Village POA Inc. is not responsible for the workmanship, quality or conformity with contractual specifications of any construction. This is a matter between the owner and contractor. No warranty or representation is made nor should be implied by any individual owner that the actions of the ACC in issuance of permits, inspections and approval of the construction or otherwise is intended as a tacit approval of the quality, safety, desirability or suitability of such design or construction.

The protective covenants that establish and provide for this Committee may be amended, rescinded or added to, provided, however, such amendments, rescissions or additions shall not make less restrictive the protective covenants pertaining to those lots zoned as residential.

The function of the ACC is to enforce the Declaration, Protective Covenants and these standards. The performance of its duties is on a best efforts basis in an attempt to reasonably protect the aesthetics and property values of the community.

These standards will be enforced by the ACC in the same manner as any violation or threatened violation of the declaration. This may include, but not be limited to, enforcing the lien rights of the association for any cost or charges incurred in maintaining those standards.

FEE SCHEDULE

ACC Fees

[illegible]

Dock Fees

Lake Front Dock (30 Year Lease).....	\$17,000.00
Community Dock (1 year Lease).....	\$ 850.00
Annual Maintenance Fee.....	\$ 660.00

For Fine Structure see section XII.

ACC fees are in no way connected with McCormick County Building Fees or Water & Sewer tap fees.

The Approval Process

The approval process described below applies to all construction planned for Savannah Lakes Village (SLV.) Applications for improvements to existing structures should follow the guidelines established in Appendix J of this document. Deviations from approved plans that affects the exterior appearance, site location or plans may result in suspension of privileges or enforcement actions. The POA may correct the problem and bill the violator and implement other remedies deemed appropriate.

Approval of plans by the ACC does not automatically mean approval by the McCormick County Building Department. Plans must be approved, fees paid and construction permits issued by both authorities before construction can commence.

Construction Review Requirements:

- South Carolina Licensed Contractor or Licensed Builder is required for all construction. (A current copy of the state license must be on file with the ACC and submitted each year.)
- Forms for ACC Review and Approval (See Appendix A-1 for documents and forms required.)
- Issuance of SLV Building Permit. No construction activity can begin prior to receipt of permit (e.g., clearing the land or delivery of materials.)
- Issuance of McCormick County Building permit. The ACC staff delivers submitted construction documents to the County Building Department within two business days following each meeting. The Contractor (or owner) should contact the Building Department after this time to arrange for the County Building Permit.
- The ACC meets at 9 a.m. on the second (2nd) and fourth (4th) Thursday of each calendar month. The ACC staff must receive all submittals no later than 12 noon on the Monday prior to the scheduled meeting. All submittals must be complete and in accordance with the applicable guidelines.

I. APPROVAL AND APPEAL PROCESS

A. ACC APPLICATIONS

ACC applications are required for all permanent and temporary construction, additions, changes, removal or demolition to structures within the community, including, but not limited to, the following: lot clearing, residential homes, outbuildings, garages, driveways, sidewalks, patios, retaining walls, pump stations, irrigation systems, solar energy systems, geothermal energy systems, swimming pools, pool buildings, recreational buildings, tennis courts, racquetball courts, basketball courts and flag poles. All forms of temporary or permanent construction or any change to the exterior of the home other than routine maintenance and upkeep will require approval from the ACC.

Any construction application may be disapproved by the ACC if it is deemed to be incompatible with the environment of SLV.

All applications approved by the ACC shall be in compliance with the Declaration and Protective Covenants for Savannah Lakes Village. Fees for residential construction and permit fees are established by the SLV POA Board of Directors each year. All construction applications that require County Building Permits are forwarded to the McCormick County Building Department after approval by the ACC. Owners or contractors are required to obtain permits and pay fees to McCormick County before starting any construction, change or modification.

B. APPEAL PROCESS

The ACC can disapprove any application it feels does not reasonably protect the aesthetics and property values of the Village or endangers the health, safety and welfare of all Property Owners based on the guidelines contained in this document. When an application is disapproved the applicant may resubmit the application with any changes recommended by the ACC. If the recommended change(s) are not acceptable to the owner(s) they may initiate an appeal process.

To begin an appeal process a written statement of intent must be submitted to the SLV Board of Directors within 30 days. All decisions of the ACC are subject to review by the Board of Directors.

II. GENERAL CONSTRUCTION GUIDELINES

A. REQUIRED LICENSES

All single and multi-family dwellings must be built by a General Contractor or Residential Builder licensed in the State of South Carolina. The contractor or builder receiving the ACC building permit must provide proof of General Liability, Worker's Compensation and Builder's Risk Insurance. The contractor or builder is responsible for ensuring that all sub-contractors working under the licensed contractor's direction at the construction site holds a current Worker's Compensation policy. Contractors and sub-

contractors policies must remain in effect until the Certificate of Occupancy (CO) is issued to the homeowner. A copy of the contractor's General Liability, Worker's Compensation and Builder's Risk policy is to be attached to Appendix F.

B. STRUCTURE PLANS

The owner is responsible for submitting to the ACC three (3) complete and identical sets of building plans that accurately represent the proposed structure and meet acceptable architectural standards. All plans must be professionally drawn with sufficient and explicit details to be adequate for the entire construction process. The floor plans shall be typically drawn to a scale of ¼ inch equals one foot. Builders are required to submit sufficient architectural grade plans with multi-dimensional views to provide an accurate representation of the overall design of the home. The plans must include exterior elevations that are to scale horizontally and vertically. All elevation views will accurately depict the revised finish grade around the perimeter of the home. Three-dimensional isometric views may be requested to present an accurate representation of the design.

Original plans presented to the Committee for review should not, as a rule, include "redline" changes. Original plans may contain redline changes to the original drawing(s) only if the changes are minor. When the footprint or any exterior elevation of the house is changed redlined plans are unacceptable. Any significant structural changes that affect the integrity, foot-print or architectural design of the structure shall be represented by professionally re-drawn plans.

Each set of plans must include the following:

1. Floor plans of all levels including basic plumbing and electrical layouts.
2. Elevations of all sides including specific roof pitches, roof materials, overhangs, exterior finishes, and the structure's surrounding finished grade profile of the ground are to be shown.
3. Foundation plan. Site-specific foundation investigations are encouraged but not required. In the absence of site-specific foundation studies, great care should be taken in the design of the foundation to ensure the structural integrity of the building.
4. One general building section which details the wall construction, roof pitches, overhangs, and footings.
5. The minimum square footage of all heated floor areas per dwelling unit is indicated on each subdivision plat.

These same requirements may be applicable for submission of a change/addition to home under construction or change/addition to existing home request.

At the submission of the Final Inspection Form (Appendix I), an **as-built** survey will be required. The requirements for the **as-built** survey drawing will be the same as those for the initial plot plan (Appendix A-2) except the **as-built** survey must show actual floor elevation(s), placement of the house, attachments, property line, easements, utilities, driveways and erosion/storm water control.

A property survey showing any improvement can be requested by the POA **anytime** there are questions about encroachment or the position of the structure relative to approved plans, drawings and plot plans.

C. SCHEDULE FOR COMPLETION OF CONSTRUCTION

Construction activities must begin within 60 calendar days of approval by the ACC. Failure to begin work within this timeframe may result in revocation of ACC approval and forfeiture of the Architectural Review Fee.

The ACC considers the date of issuance of the permit as the start of construction. The following schedule for completion shall apply to the construction of a home.

1. The exterior of each home shall be dried-in within six (6) months of the start of construction.
2. The interior of each home shall be finished within twelve (12) months of the start of construction (final inspections completed) and Certificate of Occupancy issued.
3. If circumstances warrant the request of an extension of time to complete the home an application for extension must be approved prior to original scheduled completion date. See Appendix G.
4. Landscaping shall be completed within six (6) months of the final inspection.

Failure to comply with the completion schedule may result in a fine. See Fine Schedule

NOTE: An approved ACC building application is valid for 12 months. A prorated renewal fee will be charged if a Certificate of Occupancy is not obtained within one year of the date on which the application was approved.

No residence may be occupied nor any personal items stored in any home until a final inspection is completed by the ACC and a Certificate of Occupancy is issued by the McCormick County Building Department. A Final Inspection Request form is located at Appendix I.

D. CONSTRUCTION ACTIVITY INFORMATION

During all construction activity the lot must be cleaned of trash and miscellaneous building debris. A solid-sided commercial waste container (dumpster) with a minimum capacity of six (6) cubic yards and a chemical toilet are required on all building sites before any construction activity begins. **The dumpster is not to be used for personal refuse.** The dumpster shall be emptied when full using a commercial dumping service. The ACC will allow placement of the dumpster and chemical toilet on common property and easement if necessary to facilitate access. They are not allowed to be placed on private property adjoining the construction site. Dumpsters and chemical toilets must be placed a minimum of three (3) feet off the edge of the pavement so that they do not present a safety hazard. All open-bed trucks shall be covered when hauling debris.

Once an application for any work has been approved the interior property lines must be defined with a string, surveyor's tape or other means. All building activities and materials shall be restricted to the lot for which the application was approved.

Neither the road right-of-way nor the common properties shall be used as a staging area for building materials.

Washing-out of ready-mix concrete trucks can only be performed on the lot where construction is being done.

Excess noise will be kept to a minimum. No loud audio devices are permitted.

Any clearing or debris clean-up resulting from the installation of utilities will be at property owner's expense.

E. LOT CLEARING

ALL LOT CLEARING, TREE REMOVAL AND UNDER BRUSHING REQUIRES PRIOR APPROVAL FROM THE ACC OR THE COMMUNITY SERVICES DEPARTMENT

1. Lot clearing is prohibited unless a new home application has been approved by the ACC and a building permit has been issued by McCormick County. All debris from lot clearing operations must be removed from the property within ten (10) days.
2. Complete clearing of residential lots is discouraged. Selected trees (e.g., hardwoods, hollies, dogwoods, etc.) outside of the building footprint should be saved if possible to enhance the future landscaping of the property and the natural beauty of the community. If complete clearing is required to facilitate the construction process, replacement trees will be required to be planted.

3. A homeowner who owns adjacent property may partially clear it with prior approval of a landscaping plan for the property by the ACC. Selected mature trees (e.g., loblolly pines, hardwoods, hollies, dogwoods, etc.) should be saved to enhance the natural beauty of the community. All debris from lot clearing operations must be removed from the property within ten (10) days.

E.1 TREE REMOVAL (APPENDIX M-1)

ALL LOT CLEARING, TREE REMOVAL AND UNDER BRUSHING REQUIRES PRIOR APPROVAL FROM THE ACC OR THE COMMUNITY SERVICES DEPARTMENT

1. No mature tree (or tree over 6 inches in diameter at waist height) may be removed from any platted residential property within Savannah Lakes Village unless a Tree Removal Permit has been issued by the Community Services Department. All debris from the removed tree and any cleanup required shall be removed from the property and disposed of in a proper manner.
2. No tree may be removed within twenty (20) feet of the property line of any common property used as a golf course (or permanent recreational area) unless a Tree Removal Permit has been issued by the Community Services Department or a landscaping plan which includes the tree removal has been approved by the ACC.
3. Blow downs, storm debris or low hanging limbs that are a safety hazard may be removed as necessary but must be disposed of in a proper manner. No dumping of limbs, grass clipping or storm debris on adjacent lots, common property or Corps property is allowed.
4. Only hand-operated cutting tools may be used. The use of heavy track equipment such as excavators and bulldozers to push trees is not permitted. Small tractors, Bobcats, or four wheel rubber tire equipment w/ grapple may be used to remove debris. The contractor will take care to prevent equipment from making ruts or otherwise damaging any adjacent property or the road shoulder.
5. Tree removal on Corps property is not authorized by SLVPOA. Authorization from the US Army Corps of Engineers is required for any clearing activity on Corps property. Access into or across Corps property is prohibited without specific written permission from the US Army Corps of Engineers.
6. All debris generated as a result of tree removal authorized by SLVPOA permit and /or any other debris generated by the contractor relating to the work being performed shall be removed, transported and placed into an authorized fill or burn area at the contractor's expense.

E.2 LOT UNDERBRUSHING PERMITS (APPENDIX M)

1. Lot underbrushing is allowed on undeveloped lots per the underbrushing permit agreement found in Appendix M. Spacing of trees should not exceed twelve (12) feet. Mature trees or trees larger than six (6) inches in diameter at waist height should not be cut unless they are damaged or diseased.
2. During underbrushing pines will be selected first. Attempts will be made to preserve hardwoods and native ornamental trees or shrubs, such as dogwoods, redbuds, hollies, etc. However, in densely overgrown areas, some removal of ornamentals or shrubs may be required to provide acceptable wildfire protection.
3. Only hand-operated cutting tools may be used. The use of heavy equipment such as track loaders and bulldozers to push trees is not permitted. In order to enhance efficiency and reduce costs small tractors or rubber tire trailers with a grapple may be used to load and remove debris and dead wood. The contractor will take care to prevent equipment from making ruts or otherwise aesthetically damaging the property, right of way or road shoulder.

F. BURNING

On cold days warming fires will be permitted on construction sites under the **strict** conditions detailed below. **Failure to comply with these conditions will result in this privilege being withdrawn.**

- Fires must be contained in a barrel or other suitable container.
- Container must be situated no closer than 15 feet from any combustibles.
- Fires shall not be unattended.
- Only wood scraps may be burned. Under no circumstances can plastics, asphalt or other toxic and/or gas producing materials be burned.
- Gasoline or other highly flammable liquids may not be used to start fires.

No open burning of underbrush, leaves, branches or trash of any kind is permitted on recorded platted residential property, right-of-way, or common property in SLV by any property owner or builder or agent of a property owner or builder. Builders and property owners are subject to a fine for violation of this rule.

G. CONSTRUCTION ENTRANCE

A gravel or approved stone entrance must be provided at the street entrance to the property to prevent damage to the road edge and also prevent mud and debris from being tracked onto the roadway. Any mud or debris tracked on to the roadway must be cleaned by the contractor.

H. EROSION AND SEDIMENT CONTROL

Erosion and sediment control measures must be maintained during and after construction. Positive measures must be taken to ensure that any mud, excessive run-off, silt or sediment is contained and not allowed to contaminate adjoining properties and streets. Except in extreme circumstances a silt fence is usually adequate. It must be properly installed in order to trap silt. Builders are subject to a fine by either the Corps of Engineers and/or the POA for violation of this rule. Water drainage must be controlled during and after construction. Proper drainage should be planned at the time the house is being located on the property.

Water must not be allowed to do any of the following:

1. Run into streets.
2. Run across the street or other properties.
3. Unnecessarily and unreasonably be diverted to adjacent properties.

In most instances, the above objectives can be accomplished by properly utilizing drainage easements, natural swales and the ditch at the roadway.

The POA is not responsible for correcting storm water drainage problems.

I. UTILITY COMPANIES

Prior to the start of construction **all** utility companies must be contacted to locate their respective utility.

J. SHORELINE UNDERBRUSHING PERMITS CORPS OF ENGINEERS

A permit from the US Army Corps of Engineers is required for any clearing activity on the shoreline strip. Lake front property owners must contact the US Army Corps of Engineers directly to obtain a shoreline underbrushing permit. This permit will be issued by the US Army Corps of Engineers and is subject to the following requirements:

1. Only those trees marked or specified by the Corps resource manager or his representative may be cut. Spacing of trees will not exceed eight (8) feet and in no case will any tree larger than four (4) inches in diameter at ground level be cut.

During underbrushing, pines will be selected first; attempts will be made to preserve hardwoods.

2. Removal of native ornamental trees or shrubs, such as dogwoods, redbuds, holly, etc., is prohibited regardless of size.
3. Only hand-operated tools may be used. The use of heavy equipment such as tractors and bulldozers is not permitted.
4. Dead, diseased trees or low hanging limbs that are a safety hazard (as designated by a ranger) may be cut with authorization.
5. Underbrushing is permitted up to a maximum area of 100 X 100 feet along the shoreline. Underbrushing will not extend beyond the back boundary of your property line. The actual area of underbrushing is determined by the Memorandum of Agreement with the US Army Corps of Engineers.

III. AESTHETIC DESIGN

All residential buildings and structures must meet the requirements for aesthetics as established by the ACC, including but not limited to the following:

A. EXTERIOR DESIGN

1. The exterior appearance of homes must be enhanced by design elements and/or the use of a variety of façade materials to ensure that each home has its own separate identity. Homes that are similar in appearance and color are discouraged for neighboring lots.
2. The front of the house must contain several design features that add character normally associated with an attractive house, such as: setbacks, a portico, wide steps, planters, use of fieldstone or brick, roof dormers or pediments, bay or specially designed windows, entrance doors with sidelights, shutters and decorative trim.
3. The sides and rear of the home must be attractive and also contain some of these features if viewed when facing the street, golf course, or lake.
4. Houses are limited to 2 ½ stories on the front (street side) elevation.
5. Log homes, “A” frame homes, and any manufactured home resembling a mobile home will not be permitted.

6. Free standing storage sheds or utility buildings are not allowed in SLV. Outbuildings constructed in the same architectural style of the home maybe permitted based on approval from the ACC.

B. EXTERIOR MATERIALS

1. On homes where the dominant exterior construction material is either fiber cement or vinyl, other varied exterior construction materials must be used to create contrast, and to provide architectural interest. If the dominate exterior construction material is fiber cement or vinyl, it may not represent more than 70% of the total building area on either the front elevation of the home or on the rear elevation of golf course and lake front properties [Including windows, doors, deck and/or porch surfaces.]
2. The following exterior construction materials are acceptable: brick, wood, stone and stucco. Fiber/cement and vinyl siding may be used provided that the gauge, texture and color of said siding materials is of high quality.
3. The use of vinyl siding is approved provided that it has a Consumer Reports Rating of “very good” for fading, warm impacts, wind and rigidity. The minimum thickness for vinyl siding is 0.044 inches. A list of approved and preferred vinyl siding products is available from Community Services. Other products will be evaluated on a case-by-case basis.
4. Exposed concrete or block walls must be stucco or parged and painted to match the siding as closely as possible, or must be faced with an approved color-compatible material. The use of brick or stone on foundation walls is encouraged for the front of home to add character and to the rear of the home for contrast on golf courses and lake front properties.
5. On golf course and lake front homes, support posts for decks and porches should add to the overall appearance of the home. Decks and rear porches should be designed and constructed so that they may be supported by a minimum of support columns that will also accent the overall design of the home. Metal posts or treated 6x6 wood posts are not acceptable for this application. The use of metal cylindrical posts in addition to the primary support columns is prohibited.
6. Colors should be consistent with the wooded, natural environment of SLV and should be compatible with the color of other homes in the area.
7. Varied but complementary trim colors on windows, doors and shutters must be used.
8. Bright, pastel, or harsh colors are not permitted.

9. Tinted windows are acceptable, however mirror finishes are not permitted on windows facing a street, golf course or lake.

C. DECKS AND PORCHES

1. All support posts for decks, porches, and steps extending to ground level must be supported by footings. Concrete pads are acceptable for wooden steps.
2. If treated wood support posts are used for decks and porches more than 4 feet above ground, they will be 6x6 minimum.
3. Steel or aluminum columns or posts may be acceptable if finished to meet the minimum 6x6 size or larger.
4. If the floor of a rear deck or porch is 4 feet or less above ground, continuous decorative screening is required. Decks or porches more than 4 feet above ground shall be in harmony with the architectural features of the home. Screening of these areas may be addressed in the landscaping plan submitted to the ACC.
5. A deck or porch on the front entry level of a house must have a continuous foundation wall constructed of poured concrete, concrete block or brick. Exposed concrete or block walls must be stucco or parged and painted to match the siding as closely as possible, or must be faced with an approved color-compatible material. The use of brick or stone on foundation walls is encouraged for the front of home to add character and to the rear of the home for contrast on golf courses and lake front properties.

D. GARAGES

1. All single family homes must have an attached or detached two-car garage (minimum). The ACC will review all garages for aesthetic design and detail, site conditions and the physical relationship to the projects main structure.
2. If a detached garage is constructed, ACC rules pertaining to driveways and parking standards (Section VII) must be adhered to. Additionally, an adequate walkway constructed of concrete, asphalt, brick or other durable aesthetic material, (e.g. stone pavers), must be provided for access to and from the main structure.
3. If garages are attached, side loaded garages are suggested. Carports will not be permitted.

4. Paved access to the street is required for all single-family dwellings. See Parking and Driveway Standards, Section VII.
5. Any renovation to the home must not reduce the capacity of the garage. Garage space may not be used as a living space.
6. An access door in the garage with a light switch for interior lighting is recommended for convenience, ventilation and emergency egress.

E. ROOFS

1. Architecturally appropriate roofing materials are required and should be algae resistant. Acceptable quality materials include asphalt/fiberglass shingles, slate, tile, metal, and composites. Metal with a galvanized surface finish is not permitted
2. The roof pitch should add visual interest to the house and must have a minimum of six roof planes.
3. Colors should be an integral part of the exterior color scheme, consistent with the wooded, natural environment of SLV. White and metallic silver color are not permitted.
4. When flat roofs are used requiring built-up roofs the finish color of the chip must be natural tan or brown in color.
5. Roof stacks and plumbing vents must be placed on rear slopes of the roofs where possible and must be black or match the roof color.

F. SOLAR PANELS

Solar panels should be visually integrated with the architecture of the house regarding style, location, size and color.

1. Panels shall have a low profile and be flush mounted to the roof or wall.
2. Panels shall be static with no tracking mechanisms.
3. The framing shall match the surface to which it is attached either roof or siding if wall mounted.
4. Ground mounted solar panels must be located in the rear or side yards and screened from neighboring properties by landscaping. The installation shall be reviewed on a case-by-case basis.

Submission Requirements

1. A copy of the site plan and the location of the proposed solar panels.
2. A drawing showing the proposed layout of the solar panels.

3. Actual color sample of panel to be installed.
4. Photographs of house showing the proposed location of panels.
5. Catalog photographs or manufacturer's "cut sheets" of the solar panels and complete specifications on all components, including cables, connections, dimensions and materials.
6. Plans for proposed landscape screening for ground mounted panels.

G. SETBACKS AND EASEMENTS

Setbacks (called building setbacks.) No building shall be placed closer to the front or back lot lines than the setback lines shown on the recorded subdivision plat. However, where such requirements create an undue hardship upon the owner, such setbacks may be modified by the ACC to the extent necessary to prevent the hardship.

Golf Course Setbacks. All lots adjacent to the golf course have a 20 ft. setback along the golf course side of the property. No structure or part of structure may encroach into a golf course setback. Underbrushing is permitted in a golf course setback with an approved Underbrushing Permit (Appendix M.)

Utility-Drainage Easements. Every property in Savannah Lakes Village has a 7 ½ foot utility/drainage easement parallel to the interior of each lot line. This easement may be used to direct storm water runoff from a lot or the street. No structure or part of a structure may encroach into a utility/drainage easement.

The ACC may permit the construction of a single residence upon two or more lots by waiver of the 7 ½ foot utility easement and side yard setback on the appropriate interior lot lines by McCormick County. The homeowner and contractor are responsible for clearing the easement for utilities. Annual assessments and any special assessment will be levied on each individual lot as stipulated in the Declaration of Covenants and Restrictions, Article X "Covenant for Maintenance Assessments".

H. SOIL CONSERVATION, DRAINAGE AND RIGHT-OF-WAY

Erosion control and storm water run-off in McCormick County is governed by County Ordinance 89-11, EROSION AND SEDIMENT CONTROL and STORMWATER MANAGEMENT. This ordinance states "The person engaged in or conducting land-disturbing activity, the owner of the property, and the applicant under this Ordinance shall be responsible for maintaining all temporary and permanent erosion, sedimentation, and storm water management measures and facilities during the development of the site." The Ordinance goes on to say, "The owner of the property on which work has been done pursuant to this Ordinance, or any other person or agent in control of such property, shall maintain in good condition, and promptly repair and restore all grade surfaces, vegetation, erosion and sediment control measures, and other protective devices for a period of two years to such an extent that there is no longer any danger of damage as expressed by the purpose of this Ordinance".

It is a prime concern of the SLVPOA to protect the natural beauty and environment of SLV and J. Strom Thurmond Reservoir. Therefore, the owner will be responsible for ensuring that the soil conservation and drainage standards for the protection of all properties and J. Strom Thurmond Reservoir are being adhered to with respect to the McCormick County Soil and Water Conservation Act.

The property owner is responsible for installing, maintaining, and replacing pipe culverts if required by McCormick County. Modification of the ditch lines may be necessary depending upon the type of drainage upstream or downstream of the driveway. Any damage to common property, road right-of-way, driveway culverts, under street culverts or cross line drain pipes must be corrected before final inspection.

I. FLOOD PLAIN

Approval to construct a home within the J. Storm Thurmond Reservoir 100 year flood plain requires approval of an “Application to Construct in a Flood Plain” through the ACC to McCormick County. If approved, McCormick County will issue a “Permit to Construct in a Flood Plain.” The lowest habitable finish floor elevation will be designated on the permit and verified during the County foundation inspection.

The foundation of any structure constructed within the J. Strom Thurmond Reservoir structural profile of the 100-year flood lines shall be designed to withstand flood conditions and forces. Verification of this must be noted on the plot plan at the time the application is submitted.

IV. LANDSCAPING (Appendix K & K-1)

The yard of each home must be established in a way that complements the house and the surroundings. Once established, it must be maintained in a neat and orderly manner; one that is pleasing to the eye and free from any unkempt appearance. Landscaping plans require formal approval from the ACC and shall be submitted within 10 days after completion of the driveway. Plans must be submitted in person by the homeowner and/or the contractor. Landscaping plans may be reviewed but not approved at the time of the original building permit submission.

1. Lots that have more than one exposed view such as corner, golf course, and lake front lots must be treated in a consistent manner. While the landscaping style may take advantage of our natural beauty, it should be designed with care to provide appropriate fire wise prevention strategies. To provide an adequate firebreak, the landscaping must employ a combination of grass lawn or an approved ground cover and formal plantings. Plantings need not be expensive or elaborate, just well placed and aesthetically pleasing. The extensive use of pine

straw or mulch as a landscaping cover will not be approved for aesthetic and fire prevention purposes.

2. The grounds surrounding a new home that have been disturbed by construction activity must be rough graded prior to ACC final inspection. Landscaping must be completed within six months of the date of ACC approval of the landscaping plan. In-ground sprinkler systems (Appendix Q) must be submitted for approval with the landscaping plan.
3. Until landscaping is established and capable of controlling sediment, the homeowner is responsible for preventing sediment from running into ditches, onto neighboring properties, streets, a golf course or Corps of Engineers' property.
4. Restoration of county right-of-way, including drainage ways, regrading road shoulders and provisions for ground cover establishment must be completed prior to final inspection by the ACC and issuance of the County Certificate of Occupancy (CO.)
5. All proposed exterior lighting must be detailed on the final plans. Exterior lighting should not create a nuisance to the adjoining property owners.
6. Decorative objects (yard art) such as sculptures, birdbaths, fountains, etc. should be minimal and tastefully integrated into the landscape plan. Yard menageries will not be permitted.
7. Play equipment such as play houses, gym sets, basketball backboards, etc. require approval.

V. FENCES AND WALLS

Fences are not recommended because of the open character of SLV. In certain cases the use of accent fences to define small areas of a lot may be appropriate if they are keeping with the architecture of the house. Garden fences, pergolas, and trellises will be considered according to their merits when proposed as integral landscape features.

1. An application to construct a fence must be submitted describing its purpose, path and length. The fence should be aesthetically pleasing and architecturally complementary to the home and consistent with the immediate neighborhood.
2. Fences may only be constructed of metal, an example of which is available at the Community Services office. Fences may not exceed 48" in height and should be professionally installed. Fence finish color shall only be black. All support posts must be anchored in cement. Fences on golf course and lake front properties shall not be positioned to affect the view from neighboring properties

3. Fences may only be erected at the rear of the home. The fence should extend out to the side property lines. Fences may not encroach into golf course setbacks.
4. Temporary enclosures erected for the purpose of controlling deer or other plant-eating animals must meet any guidelines imposed by the ACC and enforced through the Community Services Department. Electric fence insulators and posts, if employed, must be of an approved color. A sign must be installed on the barrier to warn of the possibility of electric shock. The temporary enclosure may not be constructed within the street right of way.
5. Landscaping walls up to 24" in height do not require approval.
6. Retaining walls over 24" in height require ACC approval prior to construction. Pre-engineered retaining wall systems may be installed in accordance with the manufacturer's guidelines. All other retaining walls require certification by a South Carolina licensed engineer.

VI. HOUSE EXTERIOR MECHANICAL/ELECTRICAL COMPONENTS

These components would generally consist of the HVAC compressor unit, electric meter, phone/data equipment and the effluent pump control. It is recommended that these components be located in a common service yard when possible. The most practical location would be on the side of the house near the utility easement and the interceptor tank.

This service yard should be as visually unobtrusive as possible. The service yard may be enclosed or shielded from view with shrubbery or a wall or fence. If a wall or fence is used it must not to exceed 60 inches in height. The wall or fence may be constructed of brick, parged stucco coated cement block, treated wood or solid vinyl fencing. The color of the wall or fence shall compliment the dominant exterior surface color of the house.

The service yard and wall or fence must be completed with the house completion. If shrubbery is to be used to shield the service yard, it may be completed with the landscaping.

VII. PARKING STANDARDS AND DRIVEWAYS

A. PARKING STANDARDS

1. External auto storage or standing space shall be provided on each lot.
 - a. Vehicle space shall be a minimum of 200 square feet (10 ft. x 20 ft.) and be provided with vehicular access to a street.

- b. No parking (temporary or permanent) is allowed in areas not approved for parking.
- c. A single dwelling shall have no less than two (2) parking spaces served by an adequate driveway and space for the movement of vehicles.

2. Vehicles stored on residential property.

No recreational vehicle, motor home, camper, boat, boat trailer, or other vehicle normally or customarily used for personal or family transportation shall be parked or stored on the area designed as the yard of a residence nor shall it be parked on the paved driveway of a residence for a period exceeding 72 hours. Golf carts are not included in any description of prohibited vehicles.

3. Parking and storage of commercial vehicles.

Vehicles used specifically for commercial purposes including, but not limited to, construction trucks, cargo-carrying trucks, trailers and construction equipment shall not be parked on a residential lot other than for the purpose of accommodating work on the premises. Commercial vehicles as described above may only be parked on the street right-of-ways during working hours and must be removed at the end of each working day.

4. Vehicles parked/stored on common property.

No vehicle, including but not limited to, automobile, truck, camper, trailer, recreational vehicle, boat trailer, or golf cart, shall be parked on common property at any time. No vehicle shall be parked or stored on right-of-way or other property without approval from the SLVPOA. An exception to the street right-of-way parking prohibition is that for a period of up to 72 hours, parking will be permitted for the purpose of accommodating the temporary requirements of residents, their guests or visitors.

5. Enforcement

Unauthorized vehicle storage and parking violations will be turned over to SLV POA. Violators will be notified and given 48 hours to comply. Failure to comply will result in the matter being referred to the ACC for enforcement action.

B. DRIVEWAY STANDARDS

1. Driveways

- a) The following construction materials are acceptable: concrete, brick or other durable aesthetic (e.g. stone pavers, etc.) material.

- b) Entire driveway must be a minimum of 12 feet wide.
- c) Driveway must be completed prior to final inspection
- d) Any change in location from the approved plot plan requires approval.
- e) Pavement will not be expanded to create curbside parking areas.
- f) Driveway will be maintained in good condition.
- g) Application of paints and stains requires approval.

2. Unpaved Roads

Property owners are responsible for extending their driveways to the edge of the street pavement. If no street paving is in place at the time of the driveway construction, the finished surface of the driveway should be terminated at the property line with a temporary surface extended to the street. The driveway must be extended to the street's edge once the street is paved.

3. Construction Standards

The tie-in to the street must be made with straight horizontal lines and vertical cuts against the pavement. Regardless of the surface used, a turndown footing must be used against the pavement. This turndown footing should be twelve (12) inches wide and eight (8) inches in depth. Construction of the driveway (sub grade, base and surface course) should follow quality construction standards. If concrete is used, proper installation of joints should be made.

4. Drainage

The property owner is responsible for installing, maintaining, and replacing the driveway culvert if required. The culvert should be of sufficient length to provide adequate protection from drop off at the edge of the driveway. Drainage treatment for driveways is prescribed by McCormick County Ordinance No.89-11 Modification of the ditch lines may be necessary depending upon the type of drainage upstream or downstream of the driveway.

Use of riprap for storm water control or landscaping will be limited. The unilateral use of riprap by the property owner or landscaper to address drainage issues without permission from the ACC is strictly prohibited and will result in ACC enforcement action.

Approval must be granted by the ACC and McCormick County Building Department prior to placing the final driveway surface. A request for driveway inspection must be

submitted to the Community Services office one (1) working day prior to desired inspection date. See Driveway Inspection Form Appendix H.

VIII. CENTRAL SEWER SYSTEM

SLV utilizes a pumped effluent sewer system (interceptor tank.) This system consists of a holding tank, pump, electric controls and associated equipment. Property owners are responsible for extending the gravity sewer line five (5) feet from the foundation of their home. The owner shall also provide a 115-230 volt 30-amp circuit with AWG 10-3 including ground wire to the control panel.

The owner will include the finish floor elevation of the lowest floor requiring plumbing on the plot plan (see Appendix A-2.) The interceptor tank will not be installed until final power and water have been connected to the home.

The homeowner is responsible for having the area for the interceptor tank cleared when the lot is cleared and the stub-out is identified. The tank will not be made operational until McCormick County inspects the system and issues the Certificate of Occupancy for the home.

The SLVPOA, on behalf of the McCormick County Water and Sewer Department, will install the necessary service lines, tanks, pumps, controls and associated equipment. McCormick County will determine the location of the interceptor tank on the submitted plot plan.

Prior to installation of the tank, the builder will establish a grade stake benchmark in the proximity of the tank to indicate finish yard elevation. This will allow the installation crew to install riser extensions more consistent with the finished yard elevation benchmark. The tank and control panel should be accessible for maintenance.

The interceptor tank fee is set by the SLVPOA. This fee is based on a standard installation. Site conditions encountered during tank installation **may result in additional cost to the homeowner.** Examples include rock, debris or tree removal, excess pipe footage, or driveway sleeve.

Ownership of the interceptor tank transfers to McCormick County at the time the Certificate of Occupancy is issued. McCormick County will invoice the homeowner for maintenance such as pumping out the interceptor tank and repairs to the pump and associated equipment.

IX. SWIMMING POOLS

No swimming pool or part thereof, excluding apron and walks, shall protrude into any front yard, construction setback line or easement.

The swimming pool area should be walled or fenced so as to prevent uncontrolled access by children and pets from the street or adjacent properties. The fence or wall if installed shall be maintained in good condition, and meet the requirements of Section V.

Discharging of pool water shall not be permitted into the interceptor tank or any other part of the sewer system. It shall be controlled and directed into established drainage easements.

X. SIGNAGE

All signs are prohibited in areas zoned upon any recorded subdivision plat as residential with the following exceptions:

- A.** Signs erected by the POA, developer or a public authority for identification of streets, neighborhood, recreational amenities, traffic control and directional purposes
- B.** Signs of a temporary nature advertising property for sale and new home construction shall be limited to one sign per lot and must be placed upon the specific property involved.
- C.** All signs shall be white with navy blue lettering and should not exceed 1 square foot in area. Signs may include Realtor or Company name, Lot, Block and Subdivision, telephone number and web address. If a property owner or real estate company wishes to enhance the appearance of its sign with a multi-color presentation, black may be used with the navy blue in a multi-color sign. No other colors may be used. No "Sold", "Open House", "Yard Sale", "Garage Sale" or any other signs of this type will be allowed.
- D.** Signs may be purchased through the POA. The SLV Logo is a registered trademark of SLVPOA. and as such may only be displayed on signs purchased through the SLV POA.
- E.** Illegal, illegible or non-maintained signs may be removed by the POA without notification to the property owner.

XI. MISCELLANEOUS REQUIREMENTS

A. MAILBOXES (Appendix L)

Residential mailboxes, paper boxes, posts and numbers will be of a uniform type and design and will be supplied by the POA. The cost of the mailbox, paper box, numbers, and post is included in initial permitting fees. The mailbox and permitting fees are approved and published annually by the SLVPOA.

All boxes will be black in color. Except for temporary seasonal decorations, no changes in the color or design of the box and support are permitted. It will be the property owner's responsibility to maintain the box, paper box, and post support in a condition acceptable to the Postmaster of McCormick County and letter carrier. Stand-alone paper boxes are not permitted.

The Postmaster of McCormick County is the final authority on the placement of your mailbox. It is advisable to check with the Postmaster prior to the placement of your box.

B. TRASH CONTAINERS

All trash containers must be stored inside garages, basements, or double-latticed enclosures. Trash containers should be removed from the street on the day the garbage service runs.

C. PROPANE TANKS

1. All propane tank installations or modifications, including tank size, tank location and tank screening must be approved by the ACC prior to installation.
2. Propane tanks of 120 gallons or greater must be buried. Above ground storage tanks must be less than 120 gallons or two 57 gallons per lot and be in accordance with all applicable building code rules and regulations.
3. Above ground tanks must be situated adjacent to the house and screened on all sides with a solid wall or fence with a gate for access as required and must not exceed 60" in height.
4. The solid wall or fence shall match or compliment the dominant exterior surface color of the house and may be constructed of brick, parged stucco coated cement block, treated wood or solid vinyl fencing. Lattice or double lattice is not an approved material

D. HOUSE NUMBERS

Residential numbers must not be less than three (3) inches in height. Business numbers must not be less than four (4) inches in height. All numbers must be made of a durable, clearly visible, reflective material.

1. Numbers shall be conspicuously placed at the walk, driveway or other appropriate place so as to be clearly visible from the road. In all cases the designated McCormick County Official shall be the final judge of what "appropriate place" shall mean if questions arise.

2. Where more than one residence, building or other occupied structure share the same drive, numbers for all residences, buildings or other occupied structures shall be placed at the walk, driveway, or there appropriate place so as to be clearly visible from the road.
3. In all cases, numbers shall be installed on the same side of the road as the building or structure being identified.

E. CLOTHESLINES

No outside clotheslines will be allowed.

F. EXTERNAL ANTENNAS/TV SATELLITE DISHES (Appendix O)

1. Television satellite receivers (FCC approved dishes or antennas) designed for over the air reception of direct broadcast satellite services may be installed on any residence or building in SLV with issuance of an ACC permit. These permits will be issued at no charge to the homeowner. In order for reception to occur without delay the ACC permit may be requested and issued before or after installation of the antenna. Said antennas should be placed so as to be minimally noticeable by casual observance and reasonable measures should be taken to minimize the visual impact on the community.
2. Installation preference is in rear yards not visible from the street and ground mounted rather than pole mounted as long as signal reception is not impaired.
3. Signal reception locations certified by a dealer/installer in writing or a statement of location certification by the individual homeowner who may install his own reception equipment may be required by the ACC after installation in a non-preferred location.
4. All other outdoor antennas are prohibited. Any electronic interference created by a satellite dish shall be the sole responsibility of the property owner who shall correct or eliminate the interference or remove the device.

G. HOME BUSINESS PERMITS (Appendix N)

The Declaration of Covenants and Restrictions for SLV empowers the ACC to permit home businesses (Exhibit 1, Paragraph 21.) The intent of this permitting process is to allow home businesses in the Village that are not intrusive to neighbors and which do not create any extraordinary traffic within the Village.

1. No signs advertising the business will be visible to neighbors or residents. Exceptions will be made on appropriate vehicle signs associated with a business.

2. No equipment associated with a home business will be visible to neighbors or residents.
3. There will be no excessive deliveries or shipments by package services.
4. An application to conduct a home business should be submitted to the ACC using the form in Appendix N.

H. YARD/GARAGE SALES

Within SLV, periodic Village-wide yard/garage sales will be conducted at the Activity Center. No such sales will be allowed on individual lots.

I. BOAT DOCK LEASE APPLICATION

Construction and location of all boat docks in SLV require approval from the ACC. An application for a boat dock lease must be made through the SLVPOA Community Services Department. Copies of the “Boat Dock/and Shoreline Policy and Operations Plan” and application procedures are available at Community Services or the POA office.

J. ANIMAL CARE AND CONTROL

A. Identification of Dogs and Cats; Rabies Vaccination.

All dogs and/or cats owned, harbored or maintained on the Community shall wear a collar with an attached engraved identification tag bearing the name, address and telephone number of the animal’s owner or caretaker residing in the Community. Additionally, all dogs are required to have a current rabies vaccination tag attached to the collar showing that the dog has been vaccinated. Cats that are allowed outside without control should have a break-a-way collar for identification. Cats should also have current rabies vaccination information or an embedded microchip for rabies documentation.

Enforcement: Failure to vaccinate as required - \$50 fine.

B. Dogs and Cats Roaming the Community.

1. No Person residing or visiting the Community who owns, harbors, or has custody and/or control of a dog shall permit such dog to be at large within the boundaries of the Community, including the shoreline strip, at any time, other than the property of an owner to which the dog belongs or to whom the guest is visiting. Elsewhere, any dog shall be controlled and restrained by a proper leash held by a person of sufficient judgment and physical strength to control the dog and to prevent the dog from attacking, threatening or annoying other people or animals. A proper leash is defined as a leash designed and marketed for the purpose of dog restraint, for such specific size and type of dog that it is restraining.

Domestic cats should not be allowed to roam at large in the Community so as to create a nuisance or disturbance on neighboring properties.

Enforcement: Each violation - \$100 fine.

2. Dogs are only allowed on golf course property cart paths or on the non-fairway side of the cart path. Dogs are not allowed on the golf club premises during normal hours of operation or when golfers are present. Dogs must be restrained as described in No. 1 above, with the exception of dogs specifically trained for bird control, which are under the supervision of golf course personnel.

Enforcement: Each violation – \$50 fine.

C. Waste Removal.

Any person having custody and control of an animal on any Common Property within the boundaries of the Community shall collect, remove and properly dispose of any feces left thereon by the animal.

Enforcement: Each violation – \$25 fine.

D. Nuisance Animals.

1. No Person shall allow or permit an animal to bark, whine, meow, cry or screech in an excessive or continuous fashion, or make other noise in such a manner so as to result in a serious annoyance or interference of the reasonable use and enjoyment of neighboring properties.

Enforcement: Each violation – \$75 fine.

2. No Member, Owner, Occupant or Tenant may permanently harbor any animals other than a reasonable number of generally recognized household pets in the Community. As determined at the sole discretion of the Board of Directors a reasonable number is defined as four animals in any combination of dogs and/or cats. No Member, Owner, Occupant or Tenant may keep, breed or maintain any pet for any commercial purpose in the Community.

Enforcement: Each violation – \$75 fine.

3. No animal that the Board of Directors determines to be dangerous may be kept in the Community. If the Board of Directors, after a recommendation from the Architectural Control Committee, determines that a Member, Owner, Occupant or Tenant's pet endangers any person, or other pet, or creates a nuisance or unreasonable disturbance in the Community, the Board of Directors may require that the pet be permanently removed from the Community upon seven (7) days written notice to such Person. If the Member, Owner, Occupant or Tennant fails to comply with such notice, the Board of Directors may obtain a court order, and such other remedies as provided in South Carolina statutes requiring the Member to comply. Notwithstanding the above, the Board of Directors may suspend Member privileges while it seeks voluntary compliance with the order.

Enforcement: \$100 fine and/or removal of the animal.

E. Service Animals

1. Under the ADA, dogs can be legally recognized and treated as “service animals.” Service dogs are covered under separate provisions of the ADA. Specifically, the ADA defines a “service animal” as any dog that is individually trained to do work or perform tasks for a person with a disability, including a physical, sensory, psychiatric, intellectual, or other mental disability.

Along with guiding blind or sight-impaired persons, examples of work or tasks performed by service animals include, pulling a wheelchair, alerting and protecting a person who is having or is about to have a seizure or psychiatric crisis, reminding to take medications, helping persons having Post Traumatic Stress Disorder (PTSD) induced anxiety attacks, or other duties related to specific disabilities.

In addition, the task or work the dog has been trained to do must be directly related to its persons’ disability.

Federal laws regulating service dogs are contained in title II (State and local government services) and title III (public accommodations and commercial facilities) of the Americans with Disabilities Act (ADA) administered by the Department of Justice.

MISCELLANEOUS:

1. The Architectural Control Committee (ACC) has sole responsibility for the initial investigation, fact finding and recommendations relative to violations of this policy. Animal Control Policy violations should be directed to the Community Services Department for preliminary reporting and presentation to the ACC. Both the individual making the complaint and the pet owner responsible for the offense will be required to provide testimony at a fact finding hearing conducted by the ACC.

2. **CONSTRUCTIVE WARNINGS:** At the recommendation of the ACC, members that are found to be in violation of the Animal Control Policy may have their fines and/or penalties held in abeyance for a period of one year pending no further violations of the policy. At the conclusion of the one year period, the fine will be removed from the member’s file; however, documentation of the incident will remain as part of the historical record.

3. Any Person who keeps or maintains any pet in the Community agrees to indemnify and hereby holds harmless the Association, its Directors, Officers, and agents, from any loss, damage, claim or liability of any kind or character whatsoever related to such pet. The Board of Directors may establish additional rules regarding pets in the Community, which may include restrictions on the breeds in addition to the number and/or size of permitted pets.

4. The Board of Directors may impose additional enforcement action up to and including revocation/suspension of member rights and privileges in the Common Property, ordering the animal removed from the Community, and/or other remedies prescribed by the governing documents.

XII. FINE STRUCTURE FOR VIOLATIONS OF ACC RULES AND REGULATIONS

Violation: Making modifications to a lot, exterior or structure of a home either under construction or completed without approval from the ACC (structural or major modification.)

First notification: Letter to construction company and/or homeowner, up to \$200 fine and work stoppage.

Second and final notification: Letter to construction company and/or homeowner advising intent to begin lien process for costs and charges incurred in maintaining Declaration standards, revocation/suspension of member rights and privileges, and other remedies prescribed by SLV POA. If work is accomplished without ACC approval a fine of up to \$500 may be imposed.

Violation: Failure to have dumpster/portapotty on construction site.

First notification: Letter to construction company and homeowner giving 7 days to correct.

Second and final notification: Letter to construction company and homeowner, work stoppage and \$25 fine per day until dumpster/portapotty are in place.

Violation: Using common property, right-of-way, or cul-de-sacs to store construction materials.

First notification: Letter to construction company and homeowner giving 7 days to correct.

Second and final notification: Letter to construction company and homeowner, up to a \$200 fine and \$25 per day until corrected.

Violation: Washing out concrete trucks on county right of way, common property, or adjacent property.

First notification: Letter to construction company and homeowner giving 7 days to correct.

Second notification: Letter to construction company and homeowner, up to a \$200 fine , plus cleanup within 7 days.

Violation: Burning or open fires in the Village.

First and final notification: Dispatch Sandy Branch Fire department and a fine up to \$1,000.

Violation: Dumping yard waste/underbrushing or construction waste on common property or adjacent property.

First and final notification: Letter requiring construction company and homeowner to remove and a fine up to \$200.

If not removed within 7 days, construction company and homeowner to pay all costs for SLV POA to correct.

Violation: Destruction of common property, right-of-way, and roadways.

First notification: Letter to construction company and homeowner giving 7 days to correct, up to a \$200 fine.

Second and final notification: Letter to construction company and homeowner, up to a \$1,000 fine and all costs for the POA to correct.

Violation: Trash, litter, and or debris on or around site.

First notification: Letter to construction company and homeowner giving 3 days to correct (cleanup) and up to a \$100 fine.

Second and final notification: Letter to construction company and homeowner, up to a \$250 fine and all costs for the POA to correct.

Violation: Failure to comply with Construction Completion Schedule.

First notification: Letter to contractor/homeowner, up to a \$200 fine with 30 days to correct.

Second notification: Letter to contractor/homeowner with a \$25 a day fine.

Violation: All unspecified violations of ACC Rules and Regulations.

First notification: Letter to construction company and homeowner giving 7 days to correct and work stoppage if appropriate.

Second notification: Letter to construction company and homeowner, up to a \$200 fine and \$25 per day until corrected.

Third and final notification: Letter to construction company and homeowner advising intent to begin lien process for costs and charges incurred in maintaining Declaration standards, revocation/ suspension of member rights and privileges, and other remedies prescribed by law. Work stoppage means “no work” will be done on that project until work corrections have been made. Failure to pay fines will result in disapproval of future home construction or modification requests to the ACC, by Owners and Contractors.

Owner _____ Lot _____ Blk. _____ Subdivision _____

CHECKLIST FOR CONSTRUCTION APPLICATIONARCHITECTURAL CONTROL COMMITTEE
SAVANNAH LAKES VILLAGE POA

- Architectural Review Fee (Non-Refundable)\$ _____
- ACC Building Permit (Valid for 12 months).....\$ _____
- Interceptor Tank & Mailbox Fee\$ _____
1. INSTRUCTIONS TO SURVEYOR (Appendix A-2) ☐
2. QUESTIONNAIRE (Appendix B) ☐
3. CONSTRUCTION APPLICATION (Appendix C) ☐
4. SUGGESTED DESIGN & FIREWISE CONSIDERATIONS ☐
(Appendix D AND D1)..... ☐
5. SPECIFICATIONS LIST (Appendix E) ☐
6. SAMPLES OF EXTERIOR MATERIALS & COLORS..... ☐
7. PROOF OF OWNERSHIP (Copy of deed/current contract)..... ☐
8. GENERAL LIABILITY, PROOF OF WORKER'S COMPENSATION AND
BUILDER'S RISK INSURANCE (Appendix F) ☐
9. COPY OF BUILDING CONTRACT ☐
10. PLOT PLAN (three (3) copies)..... ☐
11. DRAINAGE AND TREE CLEARING PLAN..... ☐
12. HOUSE PLAN (three (3) copies) ☐
13. ENGINEER'S PLANS **for all retaining walls**..... ☐
14. VIOLATIONS AND FINES..... ☐
15. INTENT OF LANDSCAPING AND FIREWISE LAND-
SCAPING (Appendix K AND K1)..... ☐
16. PROPANE TANK APPLICATION (Appendix P) ☐
17. SPRINKLER SYSTEM (Appendix Q)..... ☐
18. SATELLITE DISH APPLICATION (Appendix O)..... ☐
18. AGREEMENT AND UNDERSTANDING (Appendix R)..... ☐

Appendix A-2

Owner _____ Lot _____ Blk. _____ Subdivision _____

INSTRUCTIONS TO SURVEYOR
(PLOT PLAN/PROPERTY SURVEY REQUIREMENTS)

ARCHITECTURAL CONTROL COMMITTEE
SAVANNAH LAKES VILLAGE POA

MUST BE A LICENSED SURVEYOR IN THE STATE OF SOUTH CAROLINA

1. Map size: 8 ½ Inch by 14 Inch.
2. Map will be letter – quality drafting and must clearly show all of the following items:
 - A. Location of house and attachments with distance from two corners of house to property line on line parallel with house line, then distance from that point to nearest lot corner.
 - B. Building setback and easement lines extended to property line.
 - C. Contours of lot at five (5) foot intervals: if five foot intervals do not describe the topography well enough, plot the contours at one (1) foot intervals.
 - D. Improvements on adjacent lots: show nearest wall of improvement and distance between.
 - E. Storm water drainage ways, structures, and directions of flow, including driveway culverts, man-made or natural, existing or proposed, to be approved by the ACC and McCormick County.
 - F. Encroachments: note and describe any encroachment.
 - G. Corner pins: state of any shown.
 - H. Finish floor elevation, basement and first floor.
 - I. Retaining walls: existing or proposed.
 - J. Erosion control plan (proposed): lake front lots, and golf course lots.
 - K. Location of all utilities on lot.
 - L. Certification to be printed on plot plan.
 - M. Driveway and parking location.

NOTE: Final positioning of house on the lot may have to be altered in order to accommodate the placement of the interceptor tank as determined by McCormick County. Repositioning of house will require approval from the ACC

Appendix B

Owner _____ Lot _____ Blk. _____ Subdivision _____

GENERAL INFORMATION QUESTIONNAIRE

ARCHITECTURAL CONTROL COMMITTEE

SAVANNAH LAKES VILLAGE POA

Name: _____ Date: _____

Spouse's name: _____ Additional person(s) living in home: _____

Current address:

During

construction I/we will reside:

Phone: _____

Phone: _____

Expected date of completion of the home: _____

When home is complete, I/we expect to:

_____ Become full-time residents of SLV

_____ Become part-time residents of SLV

I/We plan to spend _____ months per year in SLV.

_____ Use the house as a rental unit indefinitely

_____ Lease the house temporarily and move to SLV in approximately _____ months/years

_____ Recommend friend(s) to SLV. _____

Hobbies and interests _____

Appendix C

Owner _____ Lot _____ Blk. _____ Subdivision _____

CONSTRUCTION APPLICATION
ARCHITECTURAL CONTROL COMMITTEE
SAVANNAH LAKES VILLAGE POA

TELEPHONE NUMBER WHERE WE CAN REACH PROPERTY OWNER _____

1. CONTRACTORS

Builder: Name _____ Phone _____ License # _____
Architect: Name _____ Phone _____ License # _____
Engineer: Name _____ Phone _____ License # _____

2. SUB-CONTRACTORS

Plumber: Name _____ Phone _____ License # _____
Electrical: Name _____ Phone _____ License # _____
HVAC: Name _____ Phone _____ License # _____

3. DESCRIPTION

Style _____ No. of bedrooms _____ No. of baths _____

Under Roof _____ Ft ² Heated Area _____ Ft ² Un-Heated Area _____ Ft ² Under Roof is sum of heated/unheated	Uncovered _____ Ft ² Deck Area _____ Ft ² Patio Area _____ Ft ²	TOTAL _____ Ft ²
---	---	---

HVAC: Heat Pump _____ Other _____ Gas Logs _____

Dishwasher connection _____ Disposal Connection _____ Washer Connection _____

STRUCTURE PRICE \$ _____ LOT VALUE \$ _____

ESTIMATED ADDITIONAL VALUE (Landscaping, etc.) \$ _____ TOTAL VALUE \$ _____

4. PROPOSED INITIAL USE

Speculative ☐ Investment ☐ Residence ☐ Part-time Residence ☐

5. CERTIFICATION

I (we) certify that the above information constitutes is a true description of the proposed construction site.

I (we) have read and will comply with the ACC Rules and Regulations.

I hereby make application for a permit to build a single family home, as described above at SLV.

OWNER _____ Company _____
(Signature) (Signature)

CO-OWNER _____ Builder _____

Appendix D

OWNER _____ LOT _____ BLK _____ SUBDIVISION _____

SUGGESTED DESIGN CONSIDERATIONS

The ACC realizes that building a home is an exciting and rewarding experience. We hope that the following suggestions will help you in making this process smoother and more enjoyable. Please make sure that the following have been discussed with your builder before submitting your plans to the ACC.

☐

Placement of the home on the lot is a critical consideration. You should meet with the builder at the lot prior to finalizing the home location. Consider preserving the natural beauty of your property by saving selected trees whenever possible.

☐

During site grading and prior to construction, make sure you discuss drainage paths and storm water control with your contractor.

☐

The location of home in relation to the morning and afternoon sun. Others wished they had turned the house on the lot to minimize the late afternoon sun. Consider insulating your garages and screened porch ceilings.

☐

The location of the garage in relation to the street. Can the garage be courtyard, a side or rear entry so that the door is not the dominate feature of the home? Consider the placement of windows in the garage for light.

☐

Will the design, colors, etc. of surrounding homes be enhanced by the proposed home? Consider windows on all side elevations.

☐

When planning landscaping, retaining walls, etc., consider the use of a high low retaining walls as an alternate to a large one.

☐

Consider the safety aspects of your home. Pay particular attention to the use of handrails where needed and minimize the number of steps if possible.

☐

Is the driveway pipe culvert of adequate length to protect from drop off on sides?

☐

Consider the aesthetic design and rear view of home if its being built on a golf course or lake lot. You should also consider the view from any street if your home is positioned on a corner lot.

☐

Review in depth what the final grade will be when completed and make sure that it is shown on plan.

We have reviewed the above considerations.

_____/_____
Owner Date
_____/_____
Builder Date

_____/_____
Co-Owner Date

OWNER_____LOT_____BLK_____SUBDIVISION_____

SUGGESTED FIREWISE CONSTRUCTION CHECKLIST

When constructing, renovating, or adding to a firewise home, consider the following:

- ☐ Choose a firewise location.
- ☐ Design and build a firewise structure.
- ☐ Employ firewise landscaping and maintenance.
- ☐ **To select a firewise location, observe the following:**
Slope of terrain; be sure to build on the most level portion of the land, since fire spreads more rapidly on even minor slopes.
- ☐ Set your single-story structure at least 30 feet back from any ridge or cliff; increase distance if your home will be higher than one story.
- ☐ **In designing and building your firewise structure, remember that the primary goals are fuel and exposure reduction. To this end:**
- ☐ Use construction materials that are fire-resistant or non-combustible whenever possible.
- ☐ For roof construction, consider using materials such as Class-A asphalt shingles, slate or clay tile, metal, cement and concrete products, or terra-cotta tiles.
- ☐ Constructing a fire-resistant sub-roof can add protection as well.
- ☐ On exterior wall facing, fire resistance materials such as stucco or masonry are much better choices than vinyl which can soften and melt.
- ☐ Window materials and size are important. Smaller panes hold up better in their frames than larger ones. Double pane glass and tempered glass are more reliable and effective heat barriers than single pane glass. Plastic skylights can melt.
- ☐ Install non-flammable shutters on windows and skylights.
- ☐ To prevent sparks from entering your home through vents, cover exterior attic and under floor vents with wire screening no larger than 1/8 of an inch mesh. Make sure under eave and soffit vents are as close as possible to the roof line. Box in eaves, but be sure to provide adequate ventilation to prevent condensation.

Appendix D-1

- ☐ Include a driveway that is wide enough to provide easy access for fire engines (12 feet wide with a vertical clearance of 15 feet and a slope that is less than 5 percent) . The driveway and access roads should be well-maintained, clearly marked, and include ample turnaround space near the house. Also provide easy access to fire service water supplies, whenever possible.
- ☐ Provide at least two ground level doors for easy and safe exit and at least two means of escape (i.e., doors or windows) in each room so that everyone has a way out.
- ☐ Keep gutters, eaves, and roofs clear of leaves and other debris.
- ☐ Make periodic inspections of your home, looking for deterioration such as breaks and spaces between roof tiles, warping wood, or cracks and crevices in the structure.
- ☐ Periodically inspect your property, clearing dead wood and dense vegetation at distance of at least 30 feet from your house. Move firewood away from the house or attachments like fences or decks.
- ☐ Any structures attached to the house, such as decks, porches, fences, and outbuildings should be considered part of the house. These structures can act as fuel bridges, particularly if constructed from flammable materials. Therefore, consider the following:
- ☐ Use metal when constructing a trellis and cover it with high-moisture, low flammability vegetation.
- ☐ Prevent combustible materials and debris from accumulating beneath patio decks or elevated porches. Screen or box-in areas below patios and decks with wire screen no larger than 1/8 inch mesh.
- ☐ Make sure an elevated wooden deck is not located at the top of a hill where it will be in direct line of a fire moving up slope. Consider a terrace instead.

Access additional information on the Firewise home page: www.firewise.org

_____/_____ Owner Date	_____/_____ Co-Owner Date
_____/_____ Builder Date	

Appendix E

Owner _____ Lot _____ Blk. _____ Subdivision _____

SPECIFICATIONS LIST
ARCHITECTURAL CONTROL COMMITTEE
SAVANNAH LAKES VILLAGE POA

OWNER'S NAME _____

BUILDER'S NAME _____

MANUFACT	URER	COLOR
FOUNDATION	_____	_____
RETAINING WALL	_____	_____
<u>SIDING</u> (Write in)		
_____	_____	_____
_____	_____	_____
<u>TRIM</u>	_____	_____
<u>WINDOWS</u>	_____	_____
<u>FASCIA</u>	_____	_____
<u>SHUTTERS</u>	_____	_____
<u>ROOFING</u>	_____	_____
<u>DOORS</u>		
Front.....	_____	_____
Garage.....	_____	_____
Other	_____	_____
<u>DECK/PORCH FINISH</u>	_____	_____
Additional Items (e.g., swimming pool, flag pole).....	_____	_____
.....	_____	_____

OWNER _____ (Signature) BUILDER _____ (Signature)

CO-OWNER _____ (Signature) DATE _____

Appendix F

Owner _____ Lot _____ Blk. _____ Subdivision _____

PROOF OF GENERAL LIABILITY WORKER'S COMPENSATION

AND

BUILDER'S RISK INSURANCE

ARCHITECTURAL CONTROL COMMITTEE
SAVANNAH LAKES VILLAGE POA

ATTACH COPIES OF THE REFERENCED DOCUMENTS THAT ARE CURRENT AND IN EFFECT

GENERAL LIABILITY

Company _____

Agent _____

Effective Dates _____

Policy Number _____

WORKER'S COMPENSATION:

Company _____

Agent _____

Effective Dates _____

Policy Number _____

BUILDER'S RISK:

Company _____

Agent _____

Effective Dates _____

Policy Number _____

I CERTIFY THAT ALL SUB-CONTRACTORS UNDER MY DIRECTION HAVE GENERAL LIABILITY WORKER'S COMPENSATION POLICIES AND I WILL ASSURE THOSE POLICIES REMAIN IN EFFECT DURING THE ENTIRE CONSTRUCTION PROCESS.

OWNER _____

(Signature & Date)

BUILDER _____

(Signature & Date)

Appendix G

Owner _____ Lot _____ Blk. _____ Subdivision _____

**CHANGE/ADDITION TO OR EXTENSION OF TIME FOR
HOME UNDER CONSTRUCTION**

ARCHITECTURAL CONTROL COMMITTEE

SAVANNAH LAKES VILLAGE POA

I certify that I have reviewed the attached drawings/plans and agree to have this alteration conform to the drawings/plans.

OWNER'S SIGNATURE (required) _____ Date _____

MAILING ADDRESS _____ PHONE _____

SLV ADDRESS _____

BUILDER'S NAME/ADDRESS _____ PHONE _____

BUILDER'S SIGNATURE (required) _____ Date _____

DESCRIBE SCOPE OF WORK: (Revised elevation, floor plan, etc. with plot plans attached)

Extension of Time: Original Date of Completion _____ Additional Time Requested _____

New Completion Date _____ Reason for request _____

ESTIMATED CONSTRUCTION COST \$ _____

ALTERATION APPROVED/DISAPPROVED (Reason if disapproved or clarification required) _____

COMMITTEE MEMBER	A	PPROVE	DISAPPROVE
_____		_____	_____
_____		_____	_____
_____		_____	_____
_____		_____	_____
_____		_____	_____

Appendix H

Owner _____ Lot _____ Blk. _____ Subdivision _____

DRIVEWAY INSPECTION FORM
ARCHITECTURAL CONTROL COMMITTEE
SAVANNAH LAKES VILLAGE POA

IMPORTANT

No warranty or representation is made to or should be implied by any individual owner that the actions of the ACC in the issuance of permits, inspection and approval of construction or otherwise is intended as a tacit approval of the quality, safety, desirability or suitability of such design or construction.

Construction Standards: The tie-in to the street must be made with straight horizontal lines and vertical cuts against the pavement. Regardless of the surface used, a turn-down footing must be used against the pavement. This turn-down footing should be twelve (12) inches wide and eight (8) inches in depth. Construction of driveway (subgrade, base, surface course) should follow quality construction standards. If concrete is used, proper installation of joints should be made. McCormick County requires a joint to be placed at the property line.

Drainage: The property owner is responsible for installing, maintaining, and replacing a pipe culvert if required. The culvert should be of proper length to provide adequate protection from drop off at driveway edge. The property owner is responsible for installing, maintaining, and replacing the driveway culvert if required. The culvert should be of sufficient length to provide adequate protection from drop off at the edge of the driveway. Drainage treatment for driveways is prescribed by McCormick County Ordinance No.89-11 Modification of the ditch lines may be necessary depending upon the type of drainage upstream or downstream of the driveway.. Modification of the ditch lines may be necessary depending upon the type of drainage upstream or downstream of the driveway.

NOTICE: A one (1) working day notice is required prior to a driveway inspection

The Driveway at LOT _____ BLOCK _____ SUBDIVISION _____

Street address _____

☐

APPROVED

IS
DISAPP

☐

ROVED

(see below)

A driveway inspection on this house is requested. The McCormick County driveway inspection is scheduled

for _____ o'clock on _____
(time) (date)

Disapproved for the following reason(s).

ACC ADMINISTRATOR _____ DATE _____

CONTRACTOR _____ DATE _____

Appendix I

Owner _____ Lot _____ Blk. _____ Subdivision _____

FINAL INSPECTION REQUEST FORM
ARCHITECTURAL CONTROL COMMITTEE
SAVANNAH LAKES VILLAGE POA

IMPORTANT

No warranty or representation is made to or should be implied by any individual owner that the actions of the ACC in the issuance of permits, inspection and approval of construction or otherwise is intended as a tacit approval of the quality, safety, desirability or suitability of such design or construction. Occupancy will not be granted until after a final inspection is made and all requirements have been met.

NOTICE: A one (1) day notice is required before a final inspection can be conducted. An as-built plot plan with basement and first floor elevation with final inspection request form is required.

TO: ACC ADMINISTRATOR
SAVANNAH LAKES VILLAGE

FROM: _____

NOTE: House should be completed and all excess building material and debris should be removed from the building site and the McCormick County rights-of-way restored.

A final inspection on a completed house is requested. The McCormick County CO inspection is scheduled for

_____ o'clock on _____
(time) (date)

CORRECTION ITEMS: (IF ANY) _____

FINAL INSPECTION APPROVED

BUILDER _____ DATE _____
(Signature)

ACC ADMINISTRATOR _____ DATE _____
(Signature)

Appendix J

Owner _____ Lot _____ Blk. _____ Subdivision _____

CHANGE/ADDITION TO
EXISTING HOME

ARCHITECTURAL CONTROL COMMITTEE
SAVANNAH LAKES VILLAGE POA

I certify that I have reviewed the attached drawings/plans and agree to have this alteration conform to the drawings/plans.

OWNER'S SIGNATURE (required) _____ Date _____

MAILING ADDRESS _____ PHONE _____

CONTRACTOR'S NAME _____

CONTRACTOR'S ADDRESS _____ PHONE _____

CONTRACTOR'S SIGNATURE (required) _____ Date _____

DRAWINGS AND PLOT PLAN: (ATTACHED)

Scope of work: _____

_____ Estimated cost \$

☐ Electrical alteration or addition required. Electrician's name _____

License # or state registration number _____

☐ Plumbing alteration or addition required. Master plumber's name _____

License # or state registration number _____

SQ FT of area ADDED _____ HEATED _____ UNHEATED _____

ALTERATION APPROVED/DISAPPROVED (Reason for disapproval) _____

COMMITTEE MEMBER

APPROVE

DISAPPROVE

Appendix K

Owner _____ Lot _____ Blk. _____ Subdivision _____

LANDSCAPING STATEMENT OF INTENT

ARCHITECTURAL CONTROL COMMITTEE
SAVANNAH LAKES VILLAGE POA

DATE: _____

NOTICE: Landscaping shall conform to ACC Rules & Regulations Section IV. Landscaping and be completed within 6 months of the issuance of you CO.

Please answer the following:

YES

NO

☐☐

I intend to draw my own landscaping design.

☐☐

intend to hire a professional to design a landscaping plan for my yard.

☐☐

already have a plan drawn (Please attach).

☐☐

intend to do my own work.

☐☐

I intend to hire professionals to do the work.

I INTEND TO BEGIN WORK ON LANDSCAPING BY: _____

**ATTACH A COPY OF YOUR PLOT PLAN WITH BASIC LANDSCAPING PLAN
DRAWN ON THE PLOT PLAN**

OWNER _____ LOT _____ BLK _____ SUBDIVISION _____

SUGGESTED FIREWISE LANDSCAPING CHECKLIST

When designing and installing a firewise landscape, consider the following:

- ☐ Local area fire history.
- ☐ Site location and overall terrain.
- ☐ Prevailing winds and seasonal weather.
- ☐ Property contours and boundaries.
- ☐ Native vegetation.
- ☐ Plant characteristics and placement (duffage, water and salt retention ability, aromatic oils, fuelload per area, and size). Irrigation requirements.
- ☐ **To create a firewise landscape, remember that the primary goal is fuel reduction. To this end, initiate the zone concept. Zone 1 is closest to the structure; Zones 2-4 move progressively further away.**
- ☐ **Zone 1.** This well-irrigated area encircles the structure for at least 30' on all sides, providing space for fire suppression equipment in the event of an emergency. Plantings should be limited to carefully spaced low flammability species.
- ☐ **Zone 2.** Low flammability plant materials should be used here. Plants should be low-growing, and the irrigation system should extend into this section.
- ☐ **Zone 3.** Place low-growing plants and well-spaced trees in this area, remembering to keep the volume of vegetation (fuel) low.
- ☐ **Zone 4.** This furthest zone from the structure is a natural area. Selectively prune and thin all plants and remove highly flammable vegetation.
- ☐ **Also remember to:**
Be sure to leave a minimum of 30' around the house to accommodate fire equipment, if necessary.
- ☐ Widely space and carefully situate the trees you plant.
- ☐ Take out the "ladder fuels" — vegetation that serves as a link between grass and tree tops. This arrangement can carry fire to a structure or from a structure to vegetation.

Appendix K-1

☐

Give yourself added protection with “fuel breaks” like driveways, gravel walkways, and lawns.

When maintaining a landscape:

☐

Keep trees and shrubs properly pruned. Prune all trees so the lowest limbs are 6' to 10' from the ground.

☐

Remove leaf clutter and dead and overhanging branches.

☐

Mow the lawn regularly.

☐

Dispose of cuttings and debris promptly, according to local regulations.

☐

Store firewood away from the house.

☐

Be sure the irrigation system is well maintained.

☐

Use care when refueling garden equipment and maintain it regularly.

☐

Store and use flammable liquids properly.

☐

Dispose of smoking materials carefully.

☐

Become familiar with local regulations regarding vegetation clearances, disposal of debris, and fire safety requirements for equipment.

☐

Follow manufacturers' instructions when using fertilizers and pesticides.

Access additional information on the Firewise home page: www.firewise.org

_____/_____
Owner **Date**

_____/_____
Co-Owner **Date**

_____/_____
Contractor **Date**

Appendix L

Owner _____ Lot _____ Blk. _____ Subdivision _____

MAIL BOX REQUEST
ARCHITECTURAL CONTROL COMMITTEE
SAVANNAH LAKES VILLAGE POA

DATE REQUESTED: _____

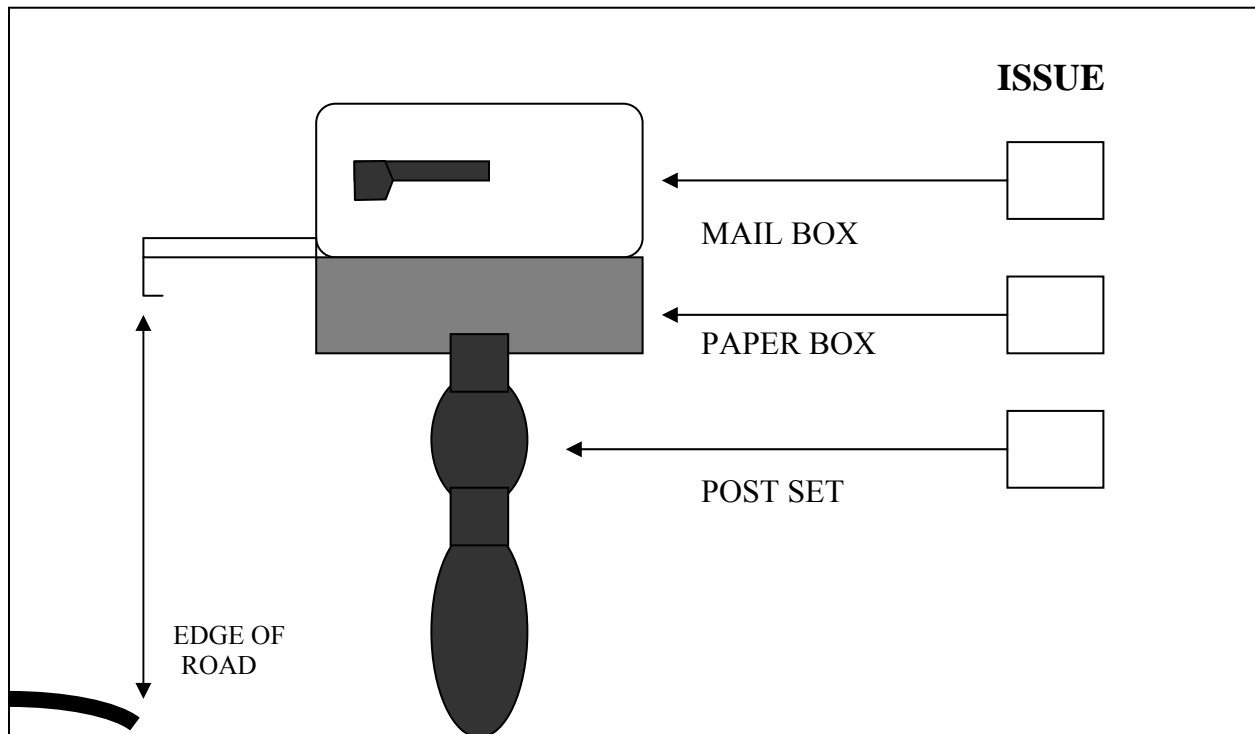
INITIAL ISSUE _____ REPLACEMENT _____

NUMBER SET _____

IMPORTANT

THE FINAL PLACEMENT OF THIS MAILBOX IS THE AUTHORITY OF THE McCORMICK POSTMASTER (THIS INCLUDES WHICH SIDE OF THE ROAD IT IS PLACED ON). BEFORE PLACING THIS BOX, CALL THE McCORMICK POST OFFICE.

CALL BEFORE YOU PLACE: 465-3401



PAID \$ _____ OR INCLUDED WITH INTERCEPTOR TANK FEE _____

ACC ADMINISTRATOR _____ DATE: _____

ISSUED BY _____ DATE: _____

RECEIVED BY _____ DATE: _____

Appendix M

Owner _____ Lot _____ Blk. _____ Subdivision _____

UNDERBRUSHING PERMIT APPLICATION
ARCHITECTURAL CONTROL COMMITTEE
SAVANNAH LAKES VILLAGE POA

Special Permit Number _____

I HEREBY MAKE APPLICATION FOR A SPECIAL PERMIT FOR LIMITED UNDERBRUSHING.

I FURTHER ATTEST THAT I AM THE OWNER BY DEED OF THE AFORMENTIONED LOT.

BY SIGNING THIS AGREEMENT, I ACKNOWLEDGE THAT I WILL COMPLY WITH THE FOLLOWING:

- Spacing of trees should not exceed twelve (12) feet. Mature trees or trees larger than six (6) inches in diameter at waist height should not be cut unless they are damaged or diseased.
- During underbrushing pines will be selected first. Attempts will be made to preserve hardwoods and native ornamental trees or shrubs , such as dogwoods, redbuds, hollies, etc. However, in densely overgrown areas, some removal of ornamentals or shrubs may be required to provide acceptable wildfire protection.
- Only hand-operated cutting tools may be used. The use of heavy equipment such as track loaders and bulldozers to push trees is not permitted. In order to enhance efficiency and reduce costs small tractors or rubber tire trailers with a grapple may be used to load and remove debris and dead wood. The contractor will take care to prevent equipment from making ruts or otherwise aesthetically damaging the property, right of way or road shoulder.

I UNDERSTAND THAT THE LIMITED UNDERBRUSHING ALLOWED BY THE ISSUANCE OF THIS PERMIT IS THE ONLY CLEARING THAT CAN BE DONE UNTIL A BUILDING PERMIT IS ISSUED

PROPERTY OWNER(Signature) _____ DATE _____

ACC ADMINISTRATOR(Signature) _____ DATE _____

APPENDIX M-1

Owner _____ Lot _____ Blk _____ Subdivision _____

TREE REMOVAL PERMIT
ARCHITECTURAL CONTROL COMMITTEE
SAVANNAH LAKES VILLAGE POA

Permit Number _____

I HEREBY MAKE APPLICATION FOR A PERMIT FOR TREE REMOVAL. I FURTHER ATTEST THAT I AM THE OWNER BY DEED OF THE AFORMENTIONED LOT.

STREET ADDRESS OF TREE(S) TO BE REMOVED: _____

IF TREE IS TO BE REMOVED BY A CONTRACTOR – PROVIDE THE FOLLOWING INFORMATION:

NAME	COMPANY NAME	TELEPHONE NUMBER
------	--------------	------------------

_____	_____	_____
-------	-------	-------

INSURANCE INFORMATION PROVIDED OR ON FILE: YES _____ NO _____

BY SIGNING THIS PERMIT, I AGREE TO COMPLY WITH THE FOLLOWING CONDITIONS:

1. Only hand-operated cutting tools may be used. The use of heavy track equipment such as excavators and bulldozers to push trees is not permitted. Small tractors, Bobcats, or four wheel rubber tire equipment w/ grapple may be used to remove debris. The contractor will take care to prevent equipment from making ruts or otherwise damaging any adjacent property or the road shoulder.
2. No activity on Corps property is authorized by this permit. A separate permit from the US Army Corps of Engineers is required for any clearing activity on Corps property. Access into or across Corps property is prohibited without specific written permission from the US Army Corps of Engineers.
3. All debris generated as a result of the tree removal authorized by this permit and /or any other debris generated by the Contractor in relation to the work being performed shall be removed, transported and placed into an authorized fill or burn area at the contractor's expense.

Description of tree(s) proposed for removal (quantity, species):

Reason for removal of tree(s):

Property Owner (Signature) _____ DATE _____

Community Services Office
Signature) _____ DATE _____

Appendix N

Owner _____ Lot _____ Blk. _____ Subdivision _____

APPLICATION FOR HOME BUSINESS PERMIT

ARCHITECTURAL CONTROL COMMITTEE

SAVANNAH LAKES VILLAGE POA

The intent of this permit is to comply with the Covenants and Restrictions, Exhibit 1, Paragraph 21, which will allow you to operate a HOME BUSINESS in the Village which is invisible to your neighbors and which does not create any extraordinary traffic.

NAME _____

ADDRESS _____

DOING BUSINESS AS _____
(Name of Business)

TYPE OF BUSINESS _____

_____ Number of people at your home engaged in this business.

_____ Estimated monthly number of clients or customers anticipated visiting your home.

_____ Type and frequency of commercial vehicles anticipated visiting your home.

_____ Average duration of visits by clients anticipated visiting your home.

Marketing plan for advertising or soliciting clients _____

I certify that I have or will obtain all required federal, state, or local permits or licenses.

I hereby make application to the ACC for a permit to engage in the above-described home business. I acknowledge that to withhold or misrepresent information may result in the ACC disapproving or canceling a permit. I further acknowledge and understand that the ACC and ultimately the POA will retain the authority to regulate and control the existence of the home business and that the application, if approved, may be revoked, if necessary, in accordance with Exhibit 1, to the Declaration of Protective Covenants, Paragraph 21.

SIGNED _____ DATE _____

Appendix O

Owner _____ Lot _____ Blk. _____ Subdivision _____

APPLICATION FOR LOCATION OF SATELLITE ANTENNAS

ARCHITECTURAL CONTROL COMMITTEE

SAVANNAH LAKES VILLAGE POA

- Television satellite receivers (FCC approved dishes or antennas) designed for over the air reception of direct broadcast satellite services may be installed on any residence or building in SLV with issuance of an ACC permit. These permits will be issued at no charge to the homeowner. In order for reception to occur without delay the ACC permit may be requested and issued before or after installation of the antenna. Said antennas should be placed so as to be minimally noticeable by casual observance and reasonable measures should be taken to minimize the visual impact on the community.
- Installation preference is in rear yards not visible from the street and ground mounted rather than pole mounted as long as signal reception is not impaired.
- Signal reception locations certified by a dealer/installer in writing or a statement of location certification by the individual homeowner who may install his own reception equipment may be required by the ACC after installation in a non-preferred location.
- All other outdoor antennas are prohibited. Any electronic interference created by a satellite dish shall be the sole responsibility of the property owner who shall correct or eliminate the interference or remove the device.
- Any electronic interference created by an antenna shall be the sole responsibility of the property owner and shall be resolved between the property owner and the appropriate authority.

NAME _____ Phone # _____

ADDRESS _____

INSTALLER _____ Phone # _____

PLOT PLAN showing proposed location and size: (ATTACHED)

DESCRIPTION OF SCREENING (If visible to neighbors or from the street/golf course) _____

CERTIFICATION of SIGNAL RECEPTION (ATTACHED) (If not ground mounted in backyard)

PERMIT APPROVED/DISAPPROVED (Reason for disapproval) _____

COMMITTEE MEMBER

APPROVE

DISAPPROVE

Appendix P

Owner _____ Lot _____ Blk. _____ Subdivision _____

APPLICATION FOR INSTALLATION OF PROPANE TANK PERMIT

ARCHITECTURAL CONTROL COMMITTEE
SAVANNAH LAKES VILLAGE POA

PROPANE TANKS

All propane tank installations must be approved by the ACC prior to installation. Propane tanks of 120 gallons or greater must be buried. Above ground storage tanks must be less than 120 gallons or two 57 gallons per lot. Above ground propane tanks must be situated adjacent to the house and installed in accordance with all applicable building code rules and regulations and further, they must be screened off from view with a wall or fence. The wall or fence must not exceed 60" in height and may be constructed of brick, parged stucco coated cement block, treated wood or solid vinyl fencing. The color of the wall or fence shall compliment the dominant exterior surface color of the house.

NAME: _____

ADDRESS _____

COMPANY INSTALLING: _____ PHONE # _____

PLOT PLAN showing proposed location and size: (ATTACHED)

DESCRIPTION OF SCREENING (If visible to neighbors or from the street/golf course)

PERMIT APPROVED/DISAPPROVED (Reason for disapproval) _____

COMMITTEE MEMBER

A

PPROVE

DISAPPROVE

Appendix Q

Owner _____ Lot _____ Blk. _____ Subdivision _____

APPLICATION FOR INSTALLATION OF IN-GROUND SPRINKLER SYSTEM
PERMIT

ARCHITECTURAL CONTROL COMMITTEE
SAVANNAH LAKES VILLAGE POA

IMPORTANT

While you may use portions of the 7 ½ foot utility easements (on your side of the property line only), building setback areas, McCormick County rights-of-way in front of your home to place sprinkler systems, home owners are cautioned that any damage done to your sprinkler system placed in these areas as a result of utility work being done or vehicles parking on the rights-of-way are strictly the responsibility of the home owner.

NAME: _____ PHONE # _____

ADDRESS _____

COMPANY DOING INSTALLTION: _____ PHONE # _____

STATE REGISTRATION NUMBER: _____

ESTIMATED COST \$ _____

PLOT PLAN showing proposed location of lines and heads (ATTACHED)

PERMIT APPROVED/DISAPPROVED (Reason if disapproval) _____

COMMITTEE MEMBER

A

PPROVE

DISAPPROVE

HOME CONSTRUCTION AGREEMENT AND UNDERSTANDING

As the Property Owner, I understand that I have been permitted to construct a home in Savannah Lakes Village and that I am responsible for the following:

Reading and complying with the ACC Rules and Regulations.

Assuring that my builder complies with the ACC Rules and Regulations.

All fines levied against my builder for violations of ACC Rules and Regulations (Section XII.)

All additional costs for interceptor tank installation is the responsibility of the homeowner.

Assuring that the exterior of my home is completed within six (6) months of the start of construction.

Assuring that construction of my home is completed within one year (12 months) of the start of construction.

Assuring that landscaping (as defined in the ACC Rules and Regulations) is completed within six (6) months from date of ACC Approval of Landscaping Plans.

Assuring that any changes or additions to the original submission made to the exterior of the home or property are approved by the ACC prior to the changes or additions being made.

Assuring that any changes or additions made to the exterior of my home after construction is complete are approved by the ACC prior to the changes or additions being made.

Signature: Property Owner

Signature: Co-owner

Date

As the builder, I understand that I have been permitted to construct a home in Savannah Lakes Village and that I am responsible for the following:

Reading and complying with the ACC Rules and Regulations.

All fines levied against me for violations of ACC Rules and Regulations (Section XII.).

Assuring that the exterior of the home is completed within six (6) months of the start of construction.

Assuring that construction of the home is completed within one year (12 months) of the start of construction.

Assuring that any changes or additions to the original submission made to the exterior of the home or property are approved by the ACC prior to the changes or additions being made.

Assuring that all sub-contractors under my direction have worker's compensation policies and I will assure those policies remain in effect during the entire construction process.

Company

Signature: Builder

Date